



# Major Applications Planning Committee

**Date:** THURSDAY, 13 JUNE 2013

**Time:** 6.00 PM

**Venue:** COMMITTEE ROOM 5  
CIVIC CENTRE,  
HIGH STREET,  
UXBRIDGE UB8 1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

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reports can be made available  
in other languages, in braille,  
large print or on audio tape on  
request. Please contact us for  
further information.**

## To Councillors on the Committee

Eddie Lavery (Chairman)  
John Hensley (Vice-Chairman)  
David Allam  
Judith Cooper  
Janet Duncan, (Labour Lead)  
Dominic Gilham  
John Morgan  
Brian Stead

**Published:** Wednesday, 5 June 2013

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This Agenda is available online at:

<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=325&Year=2013>

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## A useful guide for those attending Planning Committee meetings

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### Petitions and Councillors

**Petitions** - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

### About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

# Agenda

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## CHAIRMAN'S ANNOUNCEMENTS

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items marked in Part 1 will be considered in public and those items marked in Part 2 will be heard in private

## Reports - Part 1 - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

### Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
6	Stockley Park Golf Course, Stockley Road, West Drayton  37850/APP/2012/2732	Botwell	Erection of lightweight open fronted driving range enclosure  <b>Recommendation: Approval</b>	1 – 18  224 - 235
7	8-12 Lees Parade, Uxbridge Road, Hayes  1803/APP/2013/733	Brunel	Demolition of warehouse and conversion of and extensions to existing office building to provide a part three, part four storey building containing 14 residential units 3 retail/office spaces (Use Class A1/B1), with associated parking and amenity space.  <b>Recommendation: Approval subject to a S106 Agreement</b>	19 – 40  236-252

	<b>Address</b>	<b>Ward</b>	<b>Description &amp; Recommendation</b>	<b>Page</b>
8	Land at 37-45 Ducks Hill Road, Northwood  59214/APP/2013/852	Northwood	Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 6 and 7 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached  <b>Recommendation : Delegated Approval</b>	47-68  253-256
9	Land at 37-45 Ducks Hill Road, Northwood  59214/APP/2013/849	Northwood	Variation of Condition 4 (Approved Drawings) to allow the erection of a single storey rear addition, changes to disabled facilities and replacement of ground floor window on south elevation with door on Plot 10 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.  <b>Recommendation : Delegated Approval</b>	69-90  257-260
10	Land at 37-45 Ducks Hill Road, Northwood  59214/APP/2013/848	Northwood	Variation of Condition 4 (Approved Drawings) to allow study/games room to be provided for Plot 8 within the roofspace of the detached triple garage serving Plots 6, 7 and 8, involving replacement of a hip end with a gable roof, installation of two rear dormers and an external staircase of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.  <b>Recommendation : Delegated Approval</b>	91-112  261-265

	<b>Address</b>	<b>Ward</b>	<b>Description &amp; Recommendation</b>	<b>Page</b>
11	Land at 37-45 Ducks Hill Road, Northwood  59214/APP/2013/847	Northwood	Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 4 and 5 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.  <b>Recommendation : Delegated Approval</b>	113-134  266-269
12	Former Reindeer Public House, Maxwell Road, Northwood  18958/APP/2013/694		Minor Material Amendment application, seeking modifications to balconies of flats 2 & 6, amendments to the internal layouts of flats 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12; amendments to roof and introduction of roof terraces to flats 11 and 12; increase in depth of northern front bay, provision of doors to front gardens for flats 4 and 5, use of front bays as terraces for flats 8 and 9; and reconfiguration of windows on the south west (courtyard) elevation, together with amendments to Parking Control Methodology. (S73 Application for amendments to approved plans under condition 4 and variation of condition 7 of planning permission 18958/APP/2011/873 dated 13/07/2011 (residential development)).  <b>Recommendation : Approval subject to a S106 Agreement</b>	135-165  270-289

	<b>Address</b>	<b>Ward</b>	<b>Description &amp; Recommendation</b>	<b>Page</b>
13	Hermitage School Nursery & Lancaster Centre Site, Lancaster Road, Uxbridge  68164/APP/2013/758	Uxbridge North	Application to vary condition 2 (to allow for amendments to the stair cores on the rear elevation) of planning permission ref:68164/APP/2011/2711 dated 28/11/2012 for Alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nursery Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total).  <b>Recommendation : Approval subject to a S106 Agreement</b>	167-184  290 - 296
15	Former RAF Uxbridge, Hillingdon Road, Uxbridge  585/APP/2013/759	Uxbridge North	Reserved matters (appearance, landscaping, layout and scale) in compliance with conditions 2 and 3 for Infrastructure Phase, comprising detailed design of the new ' Spine Road' of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).  <b>Recommendation : Approval</b>	185-198  297-314

### **Non Major Application with a Petition**

	<b>Address</b>	<b>Ward</b>	<b>Description &amp; Recommendation</b>	<b>Page</b>
15	Queens Walk Resource Centre, Queens Walk, Ruislip  12059/APP/2012/2570	South Ruislip	Refurbishment and re-cladding of existing building including erection of a new entrance lobby and erection of new single storey 400sqm building to provide an educational and well being facility (Use Class D1).  <b>Recommendation: Approval subject to a Statement of Intent</b>	199-122  315-338

## **PART II - MEMBERS ONLY**

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12 A to the Local Government (Access to Information) Act 1985 as amended.

### **Any Items transferred from Part 1**

### **Any Other Business in Part 2**

**Plans for Major Applications Planning Committee      pages 223 - 338**



## Report of the Head of Planning, Sport and Green Spaces

**Address** STOCKLEY PARK GOLF COURSE STOCKLEY ROAD WEST DRAYTON

**Development:** Erection of lightweight open fronted driving range enclosure

**LBH Ref Nos:** 37850/APP/2012/2732

**Drawing Nos:** 194-001 Rev P  
194-002 Rev P1  
194-003 Rev P1  
194-004 Rev P1  
194-005 Rev P1  
194-121  
194-122 Rev P2  
194-123 Rev P1  
194-124  
163-001  
Context Plan Rev P1  
Design and Access Statement (September 2012)  
Flood Risk Assessment (KL/ml/100286/FD01 - December 2010)  
Reptile Survey (October 2012)  
Phase 1 Habitat Survey (September 2012)  
Transport Statement (12/068 - October 2012)

**Date Plans Received:** 05/11/2012                      **Date(s) of Amendment(s):**

**Date Application Valid:** 26/03/2013

### 1. **SUMMARY**

The application seeks planning permission for the erection of a lightweight open fronted driving range enclosure.

For the reasons outlined below, the proposal is considered to comply with the policies of the adopted Hillingdon Local Plan (2012), as such this application is recommended for approval.

### 2. **RECOMMENDATION**

**APPROVAL subject to the following:**

#### 1            COM3            **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

#### 2            COM4            **Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 194-001 Rev P; 194-002 Rev P1; 194-003 Rev P1; 194-004 Rev P1; 194-005 Rev P1; 194-121; 194-122 Rev P2; 194-123 Rev P1; 194-124; 163-001; Context Plan Rev P1, and shall thereafter be maintained for as long as the development remains in existence.

#### REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

#### **3 COM5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Design and Access Statement (September 2012)

Flood Risk Assessment (KL/ml/100286/FD01 - December 2010)

Reptile Survey (October 2012)

Phase 1 Habitat Survey (September 2012)

Transport Statement (12/068 - October 2012)

Thereafter the development shall be maintained in accordance with these details for as long as the development remains in existence

#### REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

#### **4 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 COM8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the

course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;
- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and.
- 2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### **6 COM9 Landscaping**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

#### 1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

#### 2. Details of Hard Landscaping

- 2.a Means of enclosure/boundary treatments
- 2.b Hard Surfacing Materials
- 2.c External Lighting

#### 3. Details of Landscape Maintenance

- 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
- 3.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

#### 4. Schedule for Implementation

#### 5. Other

- 5.a Existing and proposed functional services above and below ground
- 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 5.11 and 5.17 of the London Plan (July 2011).

### **7 NONSC Green Roof**

No development shall take place until full details of the living wall and roof have been submitted to and approved in writing by the Local Planning Authority. The details shall

include specification of planting, including a suitable mix of pollinating plants and sedums, and cultivation works to be undertaken, a schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate, and a Maintenance Schedule for a minimum period of 5 years.

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 5.11 and 5.17 of the London Plan (July 2011).

### **8 NONSC Contamination**

If any unknown contamination or contamination currently known to be at depth is uncovered by the remodelling works, the Local Planning Authority shall be informed and a remediation scheme for removing from the site or rendering innocuous this contamination shall be submitted to and approved in writing by the Local Planning Authority. The remediation scheme shall include an assessment of the extent of this contamination and provide in detail the remedial measures to be taken to avoid risk to the site users when the site is developed. All works forming part of this remediation scheme shall be completed before any part of the development is used for recreational purposes. The condition will not be discharged until verification information has been submitted for the remedial works.

#### REASON

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### **9 NONSC No Imported Soils**

No contaminated soils or other materials shall be imported to the site, other than those approved by the Local Planning Authority.

Before any imported soils for landscaping purposes are brought to the site, an imported soil scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall set out details of the following:

- i) The volumes and type of any imported soil / compost;
- ii) Details of the Transportation proposals for imported materials;
- iii) Dates of deliveries and monitoring and management arrangements for checking quantity and type of soils are consistent those approved in the scheme.
- iv) The contact details of parties undertaking any importation of imported soil / compost;
- v) The contract terms and conditions (including the contractors details and a programme of works) for any parties engaged to importation of imported soil / compost;

All imported soils shall be inspected and tested for chemical contamination and the results of this testing shall be collated and submitted to and approved in writing by the Local Planning Authority.

The person acting on this consent shall notify the Council in writing, of the intention to deliver material to the site 14 days before the importation.

#### REASON

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### INFORMATIVES

##### **1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

##### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE7	Development in areas likely to flooding - requirement for flood protection measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL19	Access to and use of the countryside by all sections of the community
OL26	Protection and enhancement of trees, woodland and landscape features
>>	London Plan (2011) Policies:
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 5.18	(2011) Construction, excavation and demolition waste
	(2011) Contaminated land

LPP 5.21	
LPP 6.1	(2011) Strategic Approach
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.4	(2011) Local character
LPP 7.13	(2011) Safety, security and resilience to emergency
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 7.16	(2011) Green Belt
LPP 7.18	(2011) Protecting local open space and addressing local deficiency
LPP 7.19	(2011) Biodiversity and access to nature

### 3

Your attention is drawn to the fact that planning permission does not override any legislation designed to protect European Protected Species, including The Conservation (Natural Habitats etc) Regulations 1994. You should contact Natural England (Tel: 020 7831 6922) if you require further information.

### 4

You are advised that in relation to condition 9 the Council expects that the only material which would be brought onto the site would be soil for planting of some of the landscaping in accordance with the proposed landscaping plan, in accordance with good arboricultural practices. The Council will take immediate action to prevent any unauthorised importation of material to the site.

### 5 I14B Compliance with Legislation Administered by EPU

The Council's Environmental Protection Unit (EPU) advises that, pursuant to the Control of Pollution Act 1974, the Clean Air Acts 1956/1968, Public Health Act(s) and other relevant legislation, you must ensure that the following are complied with where applicable:-

(i) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays or Bank Holidays. All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228 : 1984;

(ii) The elimination of the release of dust or odours caused by works, that may create a public health nuisance;

(iii) No bonfires that create dark smoke or nuisance to local residents;

(iv) Notification to EPU of the installation of a boiler with a rating 55,000 to 1.25 million Btu/hr and/or the construction of a chimney serving a furnace with a minimum rating of 1.25 million Btu/hr;

(v) Notification to EPU of the siting of any external machinery (eg. air conditioning);

(vi) EPU (and Planning Services) to be consulted if additional plant/machinery is to be installed or existing machinery replaced.

### 6 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control

of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

## 7

The Equality Act 2010 seeks to protect people accessing goods, facilities and services from discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within their facility, particularly in situations where reasonable adjustment can be incorporated with relative ease.

The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

## 8 160 Cranes

Given the nature of the proposed development it is possible that a crane may be required during its construction. The applicant's attention is drawn to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4, 'Cranes and Other Construction Issues' (available at [www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp))

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application site is an established golf course located between Hillingdon Town Centre and the M4. The majority of the site lies between Stockley Road (A408) and Harlington Road (A437), with part of the site lying to the west of Stockley Road. The site is accessed from Bennetsfield Road to the south.

The site is typical of a golf course, in that it consists of a modified landscape with strategically placed topographical features and planting. A two-storey clubhouse, small putting green and car park are located to the south. A larger practice ground is located to

the west of the clubhouse.

The site is located with the Green Belt, but there are no listed buildings in the vicinity of the site and the site is not located with a Conservation Area.

### 3.2 Proposed Scheme

The application is for the erection of a lightweight open fronted driving range enclosure, which would be located at the southern end of the existing driving range, to the north-west of the existing clubhouse building.

The proposed building would be 41 metres in length with a width of 6 metres, and would have a maximum height of 4.2 metres. It would be made up of 10 driving range bays with an additional teaching bay at one end and a ball room at the other. The building would be open on the side facing the driving range, and be of a lightweight 'lean-to' type construction.

The installation of the enclosure is to provide a facility for wet weather use, as well as providing a more inviting facility for golfers of all levels.

### 3.3 Relevant Planning History

37850/87/0510                      Golf Course East, Stockley Park                      Stockley Road West Drayton  
Constr of golf course. Details in contours etc in comp with cond 12 of outline pp ref  
27951/81/1955

**Decision:** 24-07-1987    Approved

37850/APP/2006/2820            Stockley Park Golf Course Stockley Road West Drayton  
REMODELLING OF GOLF COURSE TO CREATE A NEW PRACTICE GROUND,  
RELOCATION OF FIRST HOLE, REALIGNMENT OF FOOTPATH AND ALTERATIONS TO  
THE LAKE

**Decision:** 21-12-2006    Approved

37850/APP/2006/305            Stockley Park Golf Course Stockley Road West Drayton  
REMODELLING OF EXISTING GOLF COURSE INCLUDING NEW PRACTICE GROUND  
WITH 16 ASSOCIATED COVERED DRIVING BAYS.

**Decision:** 19-04-2006    Refused

37850/APP/2007/3334            Stockley Park Golf Course Stockley Road West Drayton  
ERECTION OF A PART SINGLE STOREY SIDE EXTENSION TO CLUBHOUSE ON NORTH  
ELEVATION.

**Decision:** 29-04-2008    Approved

37850/APP/2007/3469            Stockley Park Golf Clubhouse, Stockley Road West Drayton  
REMODELLING OF 13TH HOLE GOLF TEEING AREA, CREATION OF A NEW GREEN TO  
ACT AS A TURF NURSERY AND CREATION OF SCREENING MOUNDING ALONG SITE



PERIMETER.

**Decision:** 01-07-2008 Approved

37850/APP/2007/443 Stockley Park Golf Course Stockley Road West Drayton

DETAILS OF UPGRADING OF THE ACCESS ROAD, DIVERSION OF FOOTPATH, SURFACE WATER DRAINAGE WORKS AND SOURCE CONTROL MEASURES, DESK STUDY, SITE INVESTIGATION FOR CONTAMINATION AND REMEDIATION MEASURES, DUST CONTROL MEASURES, SITE SURVEY PLAN, TREE PROTECTION MEASURES, LANDSCAPING, LANDSCAPE MAINTENANCE, WHEEL CLEANING PLANT EQUIPMENT AND A TRAVEL ROUTE FOR DELIVERIES TO THE SITE IN COMPLIANCE WITH CONDITIONS 2, 3, 4, 5, 8, 10, 12, 14, 15, 18, 20 & 22 OF PLANNING PERMISSION REF: 37850/APP/2006/2820 DATED 21/12/2006 'REMODELLING OF GOLF COURSE TO CREATE A NEW PRACTICE GROUND, RELOCATION OF FIRST HOLE, REALIGNMENT OF FOOTPATH AND ALTERATIONS TO THE LAKE'

**Decision:** 08-06-2007 Approved

37850/APP/2008/685 Stockley Park Golf Course Stockley Road West Drayton

CONSTRUCTION OF DRIVING RANGE INCLUDING EXTENSIVE LANDSCAPING AND PLANTING.

**Decision:** 17-09-2008 Approved

37850/APP/2011/46 Stockley Park Golf Course And The Clubhouse Stockley Road West

Landscaping of existing golf course including planting, remodelling of landforms, and the enhancement and alteration of paths, greens, practice ground and fairways.

**Decision:** 27-01-2012 Approved

#### **Comment on Relevant Planning History**

Outline planning permission was first granted for the Stockley Park Golf Club in December 1984 (ref: 27951B/81/1955). The approval required the laying out of 250 acres of public open space including the golf course. Construction began in 1985 and was substantially completed around June 1993.

Planning permission reference 37850/APP/2006/2820 was approved in December 2006 for the remodelling of the golf course to create a new practice ground, to relocate the first hole, to realign a footpath and carry out alterations to the lake. This permission was to carry out works to the central portion of the course, which is the area covered by this application.

The works approved included earthworks (both cut and fill) and landscaping. As part of the works carried out with regard to this permission, additional material was imported to the site, creating landforms on the site which were in excess of the heights agreed as part of the permission. This resulted in higher landforms around the practice ground, and around the 10th and 18th holes, which was regularised as part of planning permission ref. 37850/APP/2011/46, granted 27/01/2012, for the Landscaping of existing golf course

including planting, remodelling of landforms, and the enhancement and alteration of paths, greens, practice ground and fairways.

#### **4. Planning Policies and Standards**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.CI2 (2012) Leisure and Recreation
- PT1.EM1 (2012) Climate Change Adaptation and Mitigation
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.EM4 (2012) Open Space and Informal Recreation
- PT1.EM5 (2012) Sport and Leisure
- PT1.EM6 (2012) Flood Risk Management
- PT1.EM7 (2012) Biodiversity and Geological Conservation
- PT1.EM8 (2012) Land, Water, Air and Noise

Part 2 Policies:

- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE7 Development in areas likely to flooding - requirement for flood protection measures
- OE11 Development involving hazardous substances and contaminated land - requirement for ameliorative measures
- OL1 Green Belt - acceptable open land uses and restrictions on new development
- OL2 Green Belt -landscaping improvements

OL19	Access to and use of the countryside by all sections of the community
OL26	Protection and enhancement of trees, woodland and landscape features
>>	London Plan (2011) Policies:
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 5.18	(2011) Construction, excavation and demolition waste
LPP 5.21	(2011) Contaminated land
LPP 6.1	(2011) Strategic Approach
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.4	(2011) Local character
LPP 7.13	(2011) Safety, security and resilience to emergency
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 7.16	(2011) Green Belt
LPP 7.18	(2011) Protecting local open space and addressing local deficiency
LPP 7.19	(2011) Biodiversity and access to nature

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **23rd April 2013**

**5.2** Site Notice Expiry Date:- **23rd April 2013**

## **6. Consultations**

### **External Consultees**

The application was advertised by way of site and press notices on 02/04/2013. No objections have been received.

#### EXTERNAL CONSULTTEES

#### NATURAL ENGLAND:

Under section 40(1) of the Natural Environment & Rural Communities Act 2006 a duty is placed on public authorities, including local planning authorities, to have regard to biodiversity in exercising their functions. This duty covers the protection, enhancement and restoration of habitats and species.

The National Planning Policy Framework (NPPF) expects local authorities to prevent harm to biodiversity and geological interests. Paragraph 118 makes it clear how the government expects the council to consider planning decisions that could lead to harm to biodiversity and geological interests. Paragraph 109 identifies the importance of establishing coherent ecological networks that are more resilient to current and future pressures. Protection for ancient woodland is included in Paragraph 118 of the NPPF and states that 'planning permission should be refused for development resulting in the loss or deterioration of irreplaceable habitats, including ancient woodland and the loss of aged or veteran trees found outside ancient woodland, unless the need

for, and benefits of, the development in that location clearly outweigh the loss'.

The ecological survey submitted with this application has not identified that there will be any significant impacts on statutorily protected sites, species or on priority Biodiversity Action Plan (BAP) habitats as a result of this proposal. However when considering this application the council should encourage opportunities to incorporate biodiversity in and around the development (Paragraph 118 of the NPPF).

We have not assessed the survey for badgers, barn owls and breeding birds, water voles, white-clawed crayfish or widespread reptiles. These are all species protected by domestic legislation and you should use our standing advice to assess the impact on these species.

The Town and Country Planning Association's publication 'Biodiversity By Design' provides further information on this issue and the publication can be downloaded from <http://www.tcpa.org.uk/pages/biodiversity-by-design.html>

Examples of biodiversity enhancements that can be widely incorporated into development proposals include:

Green/brown roofs:

The use of alternative roofing (turf, aggregate, brown and green roofs) can make a significant contribution to biodiversity, attenuation of rainfall, and energy efficiency as they can provide a high degree of insulation.

Landscaping:

Native species of plant should be used in landscaping proposals associated with development, unless there are over-riding reasons why particular non-native species need to be used. The nature conservation value of trees, shrubs and other plants includes their intrinsic place in the ecosystem; their direct role as food or shelter for species; and in the case of trees and shrubs, their influence through the creation of woodland conditions that are required by other species, e.g. the ground flora.

Nesting and roosting sites:

Modern buildings tend to reduce the amount of potential nesting and roosting sites. Artificial sites may therefore need to be provided for bats and birds. There is a range of ways in which these can be incorporated into buildings, or built in courtyard habitats. Their location should provide protection from the elements, preferably facing an easterly direction, out of the direct heat of the sun and prevailing wind and rain.

Sustainable urban drainage systems:

Many existing urban drainage systems are damaging the environment and are not, therefore, sustainable in the long term. Techniques to reduce these effects have been developed and are collectively referred to as Sustainable Urban Drainage Systems (SUDS). SUDS are physical structures built to receive surface water runoff. They typically include ponds, wetland, swales and porous surfaces. They should be located as close as possible to where the rainwater falls, providing attenuation for the runoff. They may also provide treatment for water prior to discharge, using the natural processes of sedimentation, filtration, adsorption and biological degradation.

Local wildlife sites:

If the proposal site is on or adjacent to a local wildlife site, e.g. Site of Nature Conservation Importance (SNCI) or Local Nature Reserve (LNR) the authority should ensure it has sufficient information to fully understand the impact of the proposal on the local wildlife site before it determines the application.

Should the proposal be amended in a way which significantly affects its impact on the natural environment then, in accordance with Section 4 of the Natural Environment and Rural Communities Act 2006, Natural England should be consulted again.

**BAA SAFEGUARDING:**

The proposed development has been examined from an aerodrome safeguarding perspective and does not conflict with safeguarding criteria. We therefore have no objection to this proposal, subject to an informative regarding cranes.

**NATS SAFEGUARDING:**

The proposed development has been examined from a technical safeguarding aspect and does not conflict with our safeguarding criteria. Accordingly, NATS (En Route) Limited has no safeguarding objections to this proposal.

**Internal Consultees**

**ENVIRONMENTAL PROTECTION UNIT:**

The condition below to be applied if any groundwork is to be carried out, plus the standard construction informative.

**CONDITION:** If any unknown contamination or contamination currently known to be at depth is uncovered by the additional works the LPA shall be informed and a remediation scheme for removing from the site or rendering innocuous this contamination shall be submitted to and approved by the LPA. The remediation scheme shall include an assessment of the extent of this contamination and provide in detail the remedial measures to be taken to avoid risk to the site users when the site is developed. All works, which form part of this remediation scheme, shall be completed before any part of the development is occupied or used for recreational purposes (unless otherwise agreed in writing by the Local Planning Authority). The condition will not be discharged until verification information has been submitted for the remedial works.

Any imported material i.e. soil shall be tested for contamination levels therein to the satisfaction of the Council.

**Reason:** To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy OE11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

**Note:** The Environmental Protection Unit should be consulted when using this condition. The Environment Agency should be consulted when using this condition. Contaminates may be present in the soil, water (ground/surface) and gas within the land or exist on the surface of the land.

**ACCESS OFFICER:**

Having considered the detail of the proposal, no accessibility concerns are raised.

However, the following informative should be attached to any grant of planning permission:

**INFORMATIVE:** The Equality Act 2010 seeks to protect people accessing goods, facilities and services from discrimination on the basis of a protected characteristic, which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be incorporated with relative ease.

The Act states that service providers should think ahead to take steps to address barriers that

impede disabled people.

**SUSTAINABILITY OFFICER:**

No objections raised to the proposed development. However, it is expected that the use of a green roof in this sensitive location to compensate for the loss of grassland. The green roof should provide a suitable mix of pollinating plants and sedums.

**7. MAIN PLANNING ISSUES**

**7.01 The principle of the development**

The proposal involves the construction of a lightweight building on a portion of open space which has been in use as a golf course for a number of years, and directly relates to the use of the site for recreation purposes. It would result in improved facilities on the site, and is not considered to impact on the openness of the site. As such, it is considered that the development complies with Green Belt and open land policies.

**7.02 Density of the proposed development**

No residential units are proposed as part of this application. As such, density is not relevant to the application.

**7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a Conservation Area, Area of Special Local Character or Archaeological Priority Area, and there are no Listed Buildings on the site. As such, it is considered that the scheme would not impact in the heritage of the borough.

**7.04 Airport safeguarding**

BAA Safeguarding have reviewed the application and raise no objection to the application from an airport safeguarding perspective. As such, it is considered that the proposal would not impact on the safe operation of any airport.

**7.05 Impact on the green belt**

The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the most important attribute of Green Belts is their openness. Policy OL1 of the Hillingdon UDP specifies that there is a presumption against inappropriate development. Policy OL1 states that agriculture, horticulture, nature conservation, open-air recreation and cemeteries are the only uses that are acceptable within the Green Belt, and that new buildings are only acceptable if they are essential for the open land use.

Any development, which is contrary to OL1, is considered 'inappropriate' development. The NPPF states that 'inappropriate development' is, by definition, harmful to the Green Belt. Such development should not be approved, except in very special circumstances.

The NPPF states that a local planning authority should regard the construction of new buildings as inappropriate in Green Belt. Exceptions to this are:

- buildings for agriculture and forestry;
- provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- limited infilling in villages, and limited affordable housing for local community needs under policies set out in the Local Plan; or
- limited infilling or the partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings),

which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.

The National Planning Policy Framework states when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt.

While the development will introduce a new structure into this setting, which has the potential to detract from the visual amenity and openness of the Green Belt, the proposal directly relates to the use of the site for outdoor recreation, which is not considered to be inappropriate development. It would improve the facilities of the site, and allow for the use of the driving range facility in poor weather, and also provides a more suitable environment for all levels of golfers. A condition will seek to offset the loss of open space through the provision of additional landscaping which will both enhance and maintain these landscape and visual amenity values. It is acknowledged that the openness of the Green Belt will be somewhat diminished on the site, however any loss of the openness will be offset through the small scale and lightweight nature of the building, and the provision of landscape treatment.

#### **7.07 Impact on the character & appearance of the area**

The NPPF makes it clear that the visual amenities of the Green Belt should not be injured by proposals for development within or conspicuous from the Green Belt which, although they would not prejudice the purposes of including land in Green Belts, might be visually detrimental by reason of their siting, materials or design.

The proposed works would be located towards the south of the golf course, near the existing built development, and would be screened from Stockley Road and the Stockley Business Park by existing landscaping. Additionally, any loss of the openness will be offset through the provision of further landscape treatment, to be secured via a condition on any permission. As such, it is considered that the proposal would not impact on the character or appearance of the wider area.

#### **7.08 Impact on neighbours**

The proposed building is of a small scale when viewed in conjunction with the entire golf course site, and the development is not likely to result in the site being used more intensively, as the enclosure provides the same number of driving range bays that exist currently (albeit outside). In addition, the nearest residential properties are located over 100 metres from the northern boundary of the site. As such, it is considered that the scheme would not result in any impacts on the neighbouring properties.

#### **7.09 Living conditions for future occupiers**

No residential units are proposed as part of this development. As such, there will be no future occupiers to take into consideration.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The proposal is not considered to create a significant amount of additional traffic to the site once it is complete, as the development would not result in the intensification of the use.

As no change or intensification of use is proposed, it is not considered that any change to car parking provision is required.

#### **7.11 Urban design, access and security**

It is considered that there are no urban design or security issues arising from the proposal. Access is considered in other sections of the report.

#### **7.12 Disabled access**

Given the minor nature of the building works proposed, and that the building will have a level access, as it would be at ground level, there are not considered to be any access issues relating to the proposal.

**7.13 Provision of affordable & special needs housing**

No residential units are proposed as part of this application. As such, affordable housing is not relevant to the application.

**7.14 Trees, landscaping and Ecology**

The application site does not contain any individual trees of outstanding merit, and none are protected by Tree Preservation Order or Conservation Area designation. However, it is considered that the collective value of the established boundary hedges, trees and shrubs contribute the verdant quality and visual amenity of the area.

The trees surrounding the development site are to be retained, and as such the proposal does not have any implications with regard to tree retention or removal.

However, it is considered that trees around the boundary of the site should be protected via condition. Additional conditions are also recommended to ensure future landscaping arrangements are acceptable. Subject to these conditions, it is considered that the proposal which would achieve appropriate outcomes in terms of policy BE38.

**7.15 Sustainable waste management**

No additional waste is to be generated from the site, as a result of the building proposed, and as such refuse would be dealt with by the existing site servicing.

**7.16 Renewable energy / Sustainability**

Given the small scale of the building, and that it is to be built as a lightweight structure, it is considered that this issue is not considered relevant to the application.

**7.17 Flooding or Drainage Issues**

Whilst the application site is in an area of low risk (Flood Zone 1), a Flood Risk Assessment (FRA) was submitted as part of the application. The assessment demonstrated that the proposal would not have an adverse impact to neighbouring properties as it will not increase flood risk through increased surface runoff.

**7.18 Noise or Air Quality Issues**

As discussed above, it is recommended that a condition requiring a Construction Management Plan be imposed, including details of dust and noise mitigation during the restoration works, to mitigate the impacts on the surrounding area.

**7.19 Comments on Public Consultations**

No public comments have been received.

**7.20 Planning obligations**

It is considered that there is no requirement for any obligations as part of this application.

**7.21 Expediency of enforcement action**

No Enforcement action is required in this instance.

**7.22 Other Issues**

**CONTAMINATION**

The existing golf course has been constructed on an area of landfill. Due to the previous use of the site, a number of reports have been submitted regarding the potential for contamination on the site. The proposal and submitted information has been assessed by the Council's Environmental Protection Unit, who recommend a condition be imposed on any permission that remediation be required should any contamination be found during the works. Also, that no imported soils be used unless they are free from contamination.



As such, it is recommended that the conditions recommended by the Council's EPU are imposed on any grant of planning permission to ensure that the proposal poses an acceptable risk to ground and surface waters and to ensure that any human health issues are addressed.

**8. Observations of the Borough Solicitor**

None.

**9. Observations of the Director of Finance**

None.

**10. CONCLUSION**

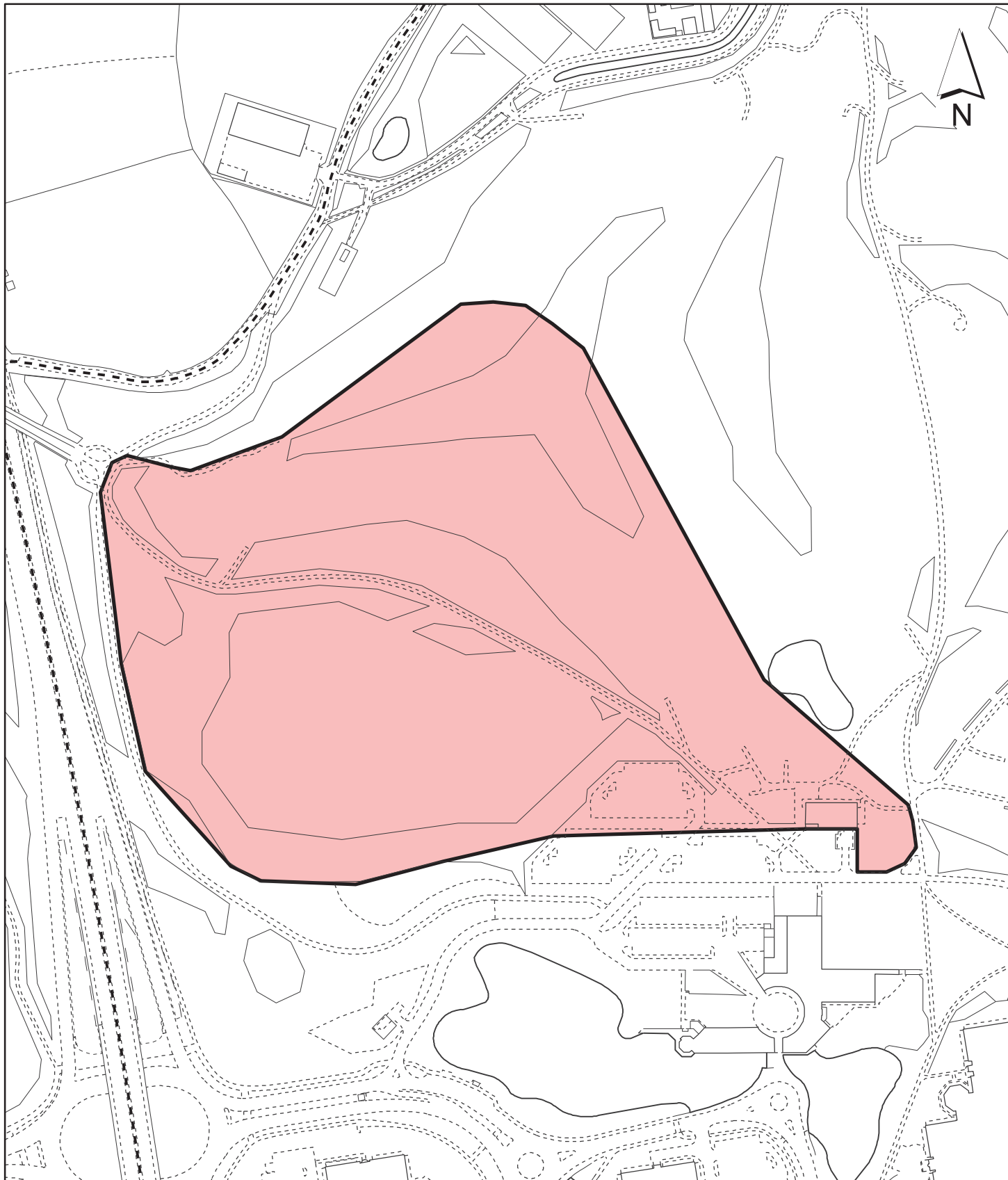
For the reasons provided throughout this report, the application is considered to be appropriate and acceptable and to comply with the relevant policies and planning guidance for the site. Therefore, the application is recommended for approval.

**11. Reference Documents**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

**Contact Officer:** Adam Flynn

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Stockley Park Golf Course  
Stockley Road  
West Drayton**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:

**37850/APP/2012/2732**

Scale

**1:3,000**

Planning Committee

**Major Applications**

Date

**May  
2013**



**HILLINGDON**  
LONDON

## Report of the Head of Planning, Sport and Green Spaces

**Address** 8-12 LEES PARADE UXBRIDGE ROAD HAYES

**Development:** Demolition of warehouse and conversion of and extensions to existing office building to provide a part three, part four storey building containing 14 residential units 3 retail/office spaces (Use Class A1/B1), with associated parking and amenity space.

**LBH Ref Nos:** 1803/APP/2013/733

**Drawing Nos:** 1107-03 (06/06/12)  
1107-25 (16/11/12)  
1107-26 (16/11/12)  
1107-27 (16/11/12)  
1107-28 (16/11/12)  
1107-29 (16/11/12)  
1107-50 (22/03/13)  
1107-51 (22/03/13)  
1107-52 (22/03/13)  
1107-53 (22/03/13)  
1107-54 (22/03/13)  
1107-55 (22/03/13)  
1107-56 (22/03/13)  
1107-57 (22/03/13)  
1107-58 (25/04/13)  
1107-59 (25/04/13)  
Design and Access Statement - PDA-1107-DAS-03  
Marketing Evidence - Colliers 18565  
Energy Statement - PDA-1107-ES-03  
Noise Assessment - PDA-1107-NS-03  
Travel Plan Statement - PDA-1107-TP-03

**Date Plans Received:** 25/03/2013                      **Date(s) of Amendment(s):** 25/03/2013

**Date Application Valid:** 25/03/2013

### 1. SUMMARY

The application seeks planning permission for the demolition of the existing warehouse and the conversion of the existing office building to provide a part three, part four-storey building containing 14 residential units, 3 retail/office spaces, associated parking and amenity space.

The proposed scheme is considered to be of an acceptable design which would be compatible within the local context and result in an adequate standard of amenity for future occupiers. The proposal would not detrimentally impact on the residential amenity of neighbouring occupiers and would provide an acceptable area of amenity space for the benefit of future occupiers.

It would not result in an unacceptable impact on visual amenities, and it is considered that the development would be acceptable with respect to traffic impacts. The scheme is designed to meet local and London wide sustainability requirements, and conditions

requiring the scheme meet Code for Sustainable Homes Level 4, provides electric car charging points, and provides PV panels are recommended.

Accordingly, the application is recommended for approval, subject to conditions and the signing of a S106 Legal Agreement.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to any relevant amendments agreed by the Head of Planning, Sport and Green Spaces, and the following:**

**A) That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or other appropriate legislation to secure:**

**1. Affordable Housing: at least 35% of the scheme (5 units) is to be delivered as affordable housing.**

**2. Education: a financial contribution to the sum of £34,667 towards educational facilities.**

**3. Health: a financial contribution to the sum of £5,613.92 towards health provision (equal to £216.67 x 25.91).**

**4. Libraries: a financial contribution to the sum of £595.93 towards library provision (equal to £23 x 25.91).**

**5. Construction Training: either a financial contribution, or an in-kind scheme delivered during the construction phase of the development, should be secured (in either event the 'obligation' should be delivered equal to the formula of £2,500 for every £1 million build cost +  $14/160 \times £71,675$  = total contribution).**

**6. Project Management and Monitoring Fee: a financial contribution equal to 5% of the total cash contributions towards the management and monitoring of the resulting agreement.**

**B) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in preparation of the Section 106 and any abortive work as a result of the agreement not being completed.**

**C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.**

**D) That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by 23 June 2013, delegated authority be given to the Head of Planning, Sport and Green Spaces to refuse planning permission for the following reason:**

**'The applicant has failed to provide contributions towards the improvement of services and the environment as a consequence of demands created by the proposed development (in respect of affordable housing, education, health and library facilities, and construction training). The proposal therefore conflicts with Policies AM2, AM7 and R17 of the adopted Local Plan and the Council's Planning**

## **Obligations SPD and Air Quality SPG.'**

**E) That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.**

**F) That if the application is approved, the following conditions be imposed:**

**1 COM3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1107-03 (06/06/12); 1107-25 (16/11/12); 1107-26 (16/11/12); 1107-27 (16/11/12); 1107-28 (16/11/12); 1107-29 (16/11/12); 1107-50 (22/03/13); 1107-51 (22/03/13); 1107-52 (22/03/13); 1107-53 (22/03/13); 1107-54 (22/03/13); 1107-55 (22/03/13); 1107-56 (22/03/13); 1107-57 (22/03/13); 1107-58 (25/04/13); 1107-59 (25/04/13), and shall thereafter be maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 COM5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:  
Accessibility Measures (Design and Access Statement - PDA-1107-DAS-03)  
Noise Mitigation Measures (Noise Assessment - PDA-1107-NS-03)

Thereafter the development shall be maintained in accordance with these details for as long as the development remains in existence

**REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**4 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of cladding (including an alternative to timber), screens, balustrades, and balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**5 COM9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include:

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Refuse Storage

2.b Cycle Storage

2.c Means of enclosure/boundary treatments

2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points), and pedestrian access to car parking area.

2.e Hard Surfacing Materials

2.f External Lighting

2.g Other structures (such as play equipment and furniture)

3. Details of Landscape Maintenance

3.a Landscape Maintenance Schedule for a minimum period of 5 years, including maintenance of the amenity deck and the roof terraces.

3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

5. Other

5.a Existing and proposed functional services above and below ground

5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

**REASON**

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and policy 5.17 of the London Plan (2011).

**6 COM8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, including trees on the neighbouring properties, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

2.a. There shall be no changes in ground levels;

2.b. No materials or plant shall be stored;

2.c. No buildings or temporary buildings shall be erected or stationed.

2.d. No materials or waste shall be burnt; and.

2.e. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **7 NONSC Lifetime Homes**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with policies 3.1, 3.8 and 7.2 of the London Plan (2011).

#### **8 NONSC Wheelchair Units**

No development shall take place until full details of how at least one of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon', have been submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with policies 3.1, 3.8 and 7.2 of the London Plan (2011).

#### **9 NONSC Secured by Design**

The buildings shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No building shall be occupied until accreditation has been achieved.

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote

the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 7.1 and 7.3 of the London Plan (2011).

**10 NONSC Sustainability**

The dwellings shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

**REASON**

To ensure that the objectives of sustainable development identified in policies 5.1 and 5.3 of the London Plan (2011).

**11 NONSC PV Installation/Monitoring**

Prior to construction of the building hereby approved, full details of the proposed photovoltaic installation, including measures as to how the energy savings produced will be monitored, shall be submitted to and approved in writing by the Local Planning Authority. The photovoltaic panels shall thereafter be retained, maintained and monitored for the lifetime of the development.

**REASON**

To ensure a sustainable approach to energy efficiency and carbon reductions is met across the site, in accordance with Policies 5.2 and 5.3 of the London Plan (2011).

**12 SUS5 Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

**REASON**

To ensure that surface water run off is controlled to ensure the development does not increase the risk of flooding contrary to policy EM6 of the Hillingdon Local Plan: Part 1 Strategic Policies (Nov 2012), and policy 5.12 of the London Plan (2011), and that it be handled as close to its source as possible in compliance with policy 5.13 of the London Plan (2011), and to conserve water supplies in accordance with policy 5.15 of the London Plan (2011).

**13 NONSC Mechanical Ventilation**

No development shall take place until details of a mechanical ventilation system for the commercial units and residential units has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the ventilation system has been installed in accordance with the approved details. Thereafter the vent shall be permanently retained and maintained in good working order for so long as the use continues.

**REASON**



To protect the amenities of the occupiers of residential accommodation in the vicinity in accordance with policy OE1 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**14 TL20 Amenity Areas (Residential Developments)**

None of the dwellings hereby permitted shall be occupied, until the outdoor amenity area serving the dwellings as shown on the approved plans (including balconies where these are shown to be provided) has been made available for the use of residents of the development. Thereafter, the amenity areas shall so be retained for the life of the development.

**REASON**

To ensure the continued availability of external amenity space for residents of the development, in the interests of their amenity and the character of the area in accordance with policy BE23 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and policy 7.1 of the London Plan (2011).

**15 RES13 Obscure Glazing**

The first floor windows fronting the amenity deck shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**16 NONSC Privacy Screens**

No development shall take place until full details, including drawings showing the siting, design and finished heights of obscure glazed privacy screens, balustrades, and railings on all balconies and terraces and roof terraces as shown on the plans hereby approved, have been submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure that the development presents a satisfactory appearance and adequate privacy in accordance with policies BE13 and BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**17 NONSC Privacy Screens**

No development shall take place until full details of means to protect the privacy of units 4, 5, 9, 10 and 13 have been submitted to and approved in writing by the Local Planning Authority and no residential unit shall be occupied until the approved details relating to that unit has been installed. Such measures should include fins to flank windows on flats 4, 5, 9, 10 and 13, and screening or landscaping to the rear windows of flats 4 and 5. The approved privacy measures shall be maintained for the life of the development.

**REASON**

In the interests of visual amenity in accordance with policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**18 NONSC Parking Allocation**

Prior to commencement of the development, a Car Parking Allocation and Management Plan for the entire site shall be submitted to and approved in writing to the Local Planning Authority.

The car parking allocation and management plan shall clearly identify and delineate parking spaces which are allocated and dedicated for the non-residential and residential components of the development. Each unit designed for wheelchair users shall be allocated at least 1 car parking space.

The provisions of the Car Parking Allocation and Management Plan will be carried and out for the lifetime of the development unless otherwise agreed in writing by the Local Planning Authority.

#### REASON

To ensure the suitable management of parking on site and to impact on the surrounding area in accordance with policies AM14, AM15, AM16 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **19 H13 Installation of gates**

Notwithstanding the plans hereby approved, prior to the commencement of the development hereby approved amended details of the access gate to the car park, incorporating facilities for its operation by disabled persons, service delivery vehicles, emergency vehicles and local authority service vehicles and capable of being manually operated in the event of a power failure shall be submitted to and approved in writing by the Local Planning Authority. The details shall also demonstrate the relocation of the access gate to a minimum of 5m from the front of the building. Thereafter the access gate shall be installed in accordance with the approved details and maintained for so long as the development remains on site.

#### REASON

To provide safe and adequate access for pedestrians and vehicles accessing the new parking area in accordance with policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### INFORMATIVES

#### **1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

- |      |  |
|------|--|
| BE13 | New development must harmonise with the existing street scene. |
| BE18 | Design considerations - pedestrian security and safety         |
| BE20 | Daylight and sunlight considerations.                          |
| BE21 | Siting, bulk and proximity of new buildings/extensions.        |
| BE22 | Residential extensions/buildings of two or more storeys.       |
| BE23 | Requires the provision of adequate amenity space.              |

BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
H8	Change of use from non-residential to residential
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
S6	Change of use of shops - safeguarding the amenities of shopping areas
S7	Change of use of shops in Parades
S9	Change of use of shops in Local Centres
S10	Change of use of shops in Local Centres - criteria for permitting changes of use outside core areas
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 2.7	(2011) Outer London: economy
LPP 2.8	(2011) Outer London: Transport
LPP 2.15	(2011) Town Centres
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.9	(2011) Mixed and Balanced Communities
LPP 3.10	(2011) Definition of affordable housing

LPP 3.11	(2011) Affordable housing targets
LPP 3.12	(2011) Negotiating affordable housing (in) on individual private residential and mixed-use schemes
LPP 3.13	(2011) Affordable housing thresholds
LPP 4.1	(2011) Developing London's economy
LPP 4.7	(2011) Retail and town centre development
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 5.13	(2011) Sustainable drainage
LPP 5.18	(2011) Construction, excavation and demolition waste
LPP 6.1	(2011) Strategic Approach
LPP 6.3	(2011) Assessing effects of development on transport capacity
LPP 6.5	(2011) Funding Crossrail and other strategically important transport infrastructure
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 8.2	(2011) Planning obligations
LPP 8.3	(2011) Community infrastructure levy

### **3            11            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **4            13            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

### **5            111            The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who

commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

## **6 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

## **7 118 Storage and Collection of Refuse**

The Council's Waste Service should be consulted about refuse storage and collection arrangements. Details of proposals should be included on submitted plans. For further information and advice, contact - the Waste Service Manager, Central Depot - Block A, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB8 3EU (Tel. 01895 277505 / 506).

## **8 119 Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

## **9 125 Consent for the Display of Adverts and Illuminated Signs**

This permission does not authorise the display of advertisements or signs, separate consent for which may be required under the Town and Country Planning (Control of Advertisements) Regulations 1992. [To display an advertisement without the necessary consent is an offence that can lead to prosecution]. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge,

UB8 1UW (Tel. 01895 250574).

**10            I26            Retail Development - Installation of a Shopfront**

You are advised that planning permission will be required for the installation of a shopfront at these premises. For further information and advice, contact - Planning & Community Services, 3N/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250574).

**11            I34            Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

**12            I58            Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work

experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: [petersale@hillingdontraining.co.uk](mailto:petersale@hillingdontraining.co.uk)

### **13 I60 Cranes**

Given the nature of the proposed development it is possible that a crane may be required during its construction. The applicant's attention is drawn to the requirement within the British Standard Code of Practice for the safe use of Cranes, for crane operators to consult the aerodrome before erecting a crane in close proximity to an aerodrome. This is explained further in Advice Note 4, 'Cranes and Other Construction Issues' (available at [www.aoa.org.uk/publications/safeguarding.asp](http://www.aoa.org.uk/publications/safeguarding.asp))

## **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The application site is located on the south-west side of Uxbridge Road, and forms part of Lees Parade. The site comprises a three-storey flat-roofed building providing a ground floor commercial premises, with two floors of ancillary office accommodation above. To the rear of the site is a steel clad warehouse building linked to the building to the front of the property.

The ground floor of the premises is comprised of four separate retail units, separated by an access through the centre of the building to the warehouse to the rear. It has been stated that the majority of the ground floor of the premises was recently used as a car sales business.

The site is set back from Uxbridge Road by a service road, with the building on the site being further set back from the service road. The area in front of the building is hard surfaced, and has been used for parking. There is an access to the rear of the site from Lees Road to the south.

The surrounding area is characterised by a mixture of primarily commercial properties along Uxbridge Road. Two-storey commercial properties sit adjacent to the site, with smaller industrial units to the south. The built form of this part of Uxbridge Road is primarily three-storeys in height, with some buildings being marginally higher at four storeys. The surrounding residential properties are two-storeys in height. The site adjoins a residential property to the rear, with the rear wall of the existing warehouse abutting the garden of the property.

### **3.2 Proposed Scheme**

The application seeks planning permission for the demolition of the existing warehouse and the conversion of the existing office building to provide a part three, part four-storey building containing 14 residential units, 3 retail/office spaces, associated parking and amenity space.

The proposal involves the conversion of the upper floors of the frontage building, the

construction of a new fourth storey to the frontage building, and the construction of a four-storey extension to the rear. 14 units (4 x 1-bed, 10 x 2-bed) are proposed over the three upper floors. Three retail or office units are proposed at ground floor level to the front of the building. Five units (2 x 1-bed, 3 x 2-bed) are proposed as affordable housing, which equates to 35% of the units.

14 new car parking spaces are proposed to the rear of the site for the residential units, and seven spaces are proposed to the front of the site for the use of the commercial premises. Cycle storage and refuse storage are provided at ground floor level, with amenity space proposed at first floor level, by way of a deck, and third floor level, by way of a roof terrace.

### 3.3 Relevant Planning History

1803/APP/2011/1028      Victory House, 8-12, Lees Parade Uxbridge Road Hillingdon  
Enlargement of vehicular crossover

**Decision:** 02-09-2011    Approved

1803/APP/2012/2886      Victory House, 8-12, Lees Parade Uxbridge Road Hillingdon  
Demolition of warehouse and conversion of existing office building to provide a part three, part four storey building containing 14 residential units (Use Class C3), 3 retail/office spaces, associated parking and amenity space.

**Decision:** 04-03-2013    Refused

1803/G/94/2007            8-12 Lees Parade      Uxbridge Road Hayes  
Raising of roof area over storage building

**Decision:** 17-03-1995    Approved

#### Comment on Relevant Planning History

The relevant history is listed above.

The most recent application, ref. 1803/APP/2012/2886, was refused for the following reasons:

1. The proposal fails to provide amenity space of sufficient quality commensurate to the size and layout of the proposal, and would fail to provide usable, attractively laid out and conveniently located amenity space in relation to the proposed flats it would serve. As such the proposal would provide a substandard form of accommodation for future residents contrary to Policy 3.5 of the London Plan 2011, Policy BE23 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), and guidance within the Council's Supplementary Planning Document on Residential Layouts.

2. The applicant has failed to provide obligations to secure affordable housing, improvements to nearby educational facilities, health facilities, libraries, community facilities, highways and the public realm, and air quality monitoring, which are required in association with, and to mitigate the impacts of, the development. The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), and the Council's Planning Obligations Supplementary Planning



Document.

#### **4. Planning Policies and Standards**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Residential Layouts  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Document - Planning Obligations; and Revised Chapter 4, Education Facilities: September 2010.  
Hillingdon Supplementary Planning Guidance - Air Quality  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment  
PT1.E5 (2012) Town and Local Centres  
PT1.EM1 (2012) Climate Change Adaptation and Mitigation  
PT1.EM4 (2012) Open Space and Informal Recreation  
PT1.EM8 (2012) Land, Water, Air and Noise  
PT1.H1 (2012) Housing Growth  
PT1.H2 (2012) Affordable Housing  
PT1.T1 (2012) Accessible Local Destinations

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.  
BE18 Design considerations - pedestrian security and safety  
BE20 Daylight and sunlight considerations.  
BE21 Siting, bulk and proximity of new buildings/extensions.  
BE22 Residential extensions/buildings of two or more storeys.  
  
BE23 Requires the provision of adequate amenity space.  
BE24 Requires new development to ensure adequate levels of privacy to neighbours.  
BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.  
H4 Mix of housing units  
H5 Dwellings suitable for large families

H8	Change of use from non-residential to residential
LE4	Loss of existing industrial floorspace or land outside designated Industrial and Business Areas
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
S6	Change of use of shops - safeguarding the amenities of shopping areas
S7	Change of use of shops in Parades
S9	Change of use of shops in Local Centres
S10	Change of use of shops in Local Centres - criteria for permitting changes of use outside core areas
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 2.7	(2011) Outer London: economy
LPP 2.8	(2011) Outer London: Transport
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LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.3	(2011) Increasing housing supply
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.9	(2011) Mixed and Balanced Communities
LPP 3.10	(2011) Definition of affordable housing
LPP 3.11	(2011) Affordable housing targets
LPP 3.12	(2011) Negotiating affordable housing (in) on individual private residential and

mixed-use schemes

- LPP 3.13 (2011) Affordable housing thresholds
- LPP 4.1 (2011) Developing London's economy
- LPP 4.7 (2011) Retail and town centre development
- LPP 5.1 (2011) Climate Change Mitigation
- LPP 5.2 (2011) Minimising Carbon Dioxide Emissions
- LPP 5.3 (2011) Sustainable design and construction
- LPP 5.7 (2011) Renewable energy
- LPP 5.13 (2011) Sustainable drainage
- LPP 5.18 (2011) Construction, excavation and demolition waste
- LPP 6.1 (2011) Strategic Approach
- LPP 6.3 (2011) Assessing effects of development on transport capacity
- LPP 6.5 (2011) Funding Crossrail and other strategically important transport infrastructure
- LPP 6.9 (2011) Cycling
- LPP 6.10 (2011) Walking
- LPP 6.13 (2011) Parking
- LPP 7.1 (2011) Building London's neighbourhoods and communities
- LPP 7.2 (2011) An inclusive environment
- LPP 7.3 (2011) Designing out crime
- LPP 7.4 (2011) Local character
- LPP 7.6 (2011) Architecture
- LPP 7.15 (2011) Reducing noise and enhancing soundscapes
- LPP 8.2 (2011) Planning obligations
- LPP 8.3 (2011) Community infrastructure levy

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **15th May 2013**

**5.2** Site Notice Expiry Date:- **15th May 2013**

## **6. Consultations**

### **External Consultees**

Consultation letters were sent to 24 local owner/occupiers on 22/04/13. The application was also advertised by way of site and press notices. Two letters of objection have been received which raise the following concerns:

- i) Insufficient parking
- ii) Traffic congestion
- iii) Building out of keeping with street
- iv) Overlooking and loss of privacy
- v) Building not 'green' (sustainability)

EXTERNAL CONSULTTEES

#### BAA SAFEGUARDING:

No safeguarding objections to the proposed development, subject to an informative regarding the use of cranes.

#### MOD SAFEGUARDING:

No safeguarding objections to the proposal.

#### **Internal Consultees**

##### URBAN DESIGN/CONSERVATION:

Background: This is an existing, circa 1970s, brick faced three storey building fronting the Uxbridge Road, with a large attached warehouse structure to the rear. The building is highly visible in views along the Uxbridge Road from the north and south, and there are also views of the warehouse from Nicholls Avenue and from the adjacent school playing field. The site does not lie within a designated area, nor would its development impact on any heritage assets.

The street scene is varied with a mix of two and three storey buildings of varying architectural styles and periods. There do not appear to be any existing four storey buildings in the immediate vicinity.

Comments: There are no objections in principle to the demolition of the warehouse and the change of use of the upper floors of the existing building to residential use. There are concerns, however, re the addition of an additional storey to this building in terms of its impact on the local street scene. Any additional floors to the rear of the building should also be stepped back to reduce its bulk and impact on views from the adjacent residential streets and open space.

The street elevation of the building should be given more interest by, for example, rendering or cladding, the second floor. This would also help disguise/draw attention away from the odd asymmetrical fenestration pattern above ground floor level. Cedar cladding should be avoided, as this rarely weathers well in our climate. The new floor, if considered acceptable in principle, should be finished in a light colour, again to attempt to conceal its bulk. The proposed high level screens on the terraces and balustrades should also be light weight in appearance, ideally, glass rather than timber. Details of the roof top pergola will need to be submitted if agreed. The canopy over the ground floor street entrance/s looks overly tall and rather bulky, it is suggested that this revised, possibly to a glazed canopy and its detailed design, materials, colour and finish made subject to a suitable condition. Similarly, the shutter to the car park, the entrance to the flats and shop fronts should be subject to further detailing via suitable conditions.

There also appears to be enough space on the street frontage to incorporate some planting, particularly tree planting.

Recommendation: Revisions and additional information required.

#### Officer Comment:

It is considered that the issues raised can be addressed via the imposition of conditions, with regard to materials, layout, design, on any grant of planning permission.

#### HIGHWAYS:

The provision of 14 car parking spaces for the residential element and 7 car parking spaces for the commercial element is considered acceptable. Servicing already takes place from the service road in front of the site, therefore a dedicated service bay is not considered necessary in this case.

The previous application raised highways concerns regarding cycle parking, disabled parking, and pedestrian access. The revised application includes 2 disabled spaces within the residential car park and 1 disabled space for the commercial element, which is considered acceptable. A cycle store is proposed, but without details is considered inadequate to accommodate the required 21

spaces. A condition should therefore be applied to cover cycle parking.

The existing vehicular access will be utilised to access the residential car park. Pedestrian visibility spaces at the access point are obscured by the building walls on either side of the access. However the development is not considered to result in such intensification of use that would otherwise merit refusal on highway and pedestrian safety ground. Shutter shown at the access point should be relocated to 5m (min.) in to the access road to avoid vehicles waiting on the highway in the way of pedestrians. A condition should be attached to cover this.

Occupiers of the development/site management will be responsible for towing bins outside for collection and towing them back. The building structure will not allow 1100 litre wheelie bins to be towed between the available space.

#### ENVIRONMENTAL PROTECTION UNIT:

No concerns are raised regarding noise, however can an informative be attached regarding construction works.

#### TREES & LANDSCAPING:

Character/Context: The site is occupied by warehouse situated to the south side of Uxbridge Road. This urban area is characterised by commercial and retail premises, often with residential accommodation above.

There are no trees or other landscape within the site boundary.

Considerations: Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No trees or other landscape features will be affected by the proposal.
- Parking for 7No. cars will continue to be provided to the front of the building.
- Vehicular access will be maintained through a gap in the groundfloor of the building and to parking spaces to the rear, part of which will be oversailed by flats above.
- Part of the rear parking court will be open area which will be used to provide bin storage, a SUDS tank and raised planters (plan ref. 1107-50).
- Private terraces and shared amenity terraces are to be provided at first and third floor levels. These modest external amenity spaces provide the main opportunity for landscape enhancement (together with the ground floor planters). These areas require careful consideration and detailing to ensure that the hard and soft landscape is both attractive and functional.
- Due to the communal / shared character of the amenity spaces, a management / maintenance plan should be conditioned to ensure that the landscape is established and maintained in accordance with the design proposals.
- Landscape conditions will be necessary to preserve and enhance the visual amenities of the locality and to ensure that adequate facilities are provided.

Recommendation: No objection, subject to landscaping conditions.

Officer Comment: It is noted that there is a large tree on the neighbouring property which provides some screening of the site. As such, it is recommended that a tree protection condition be imposed on any permission.

#### FLOODWATER MANAGEMENT:

Recommends the inclusion of a condition regarding sustainable drainage (SUDS).

#### ACCESS OFFICER:

The proposal seeks to retain the existing building frontage which has been used for car sales, with the rear of the property used for associated vehicle storage. The reconfigured building would comprise 14 residential units with parking, including two accessible parking spaces. The flats would be served by a passenger lift which accords with the specifications as details in Part M to the Building Regulations 2004.

The Design & Access Statement states that flats comply with the Lifetime Homes Standards, however, the specifications have not been reflected on plan. In addition, the development should comply with London Plan Policy 3.8, and should ensure that a minimum of one residential unit meets Wheelchair Home Standard requirements.

The scheme should be revised and compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan. In addition, 10% of new housing should be built to wheelchair home standards and should accord with relevant policies, legislation and adopted guidance.

The following access observations are provided:

1. To support the 'Secured by Design' agenda, accessible car parking bays should not be marked. Car parking spaces should be allocated to a specific unit, allowing a disabled occupant to choose whether the bay is marked. Bays that are not allocated would not guarantee an accessible bay to a disabled resident. Similarly, a disabled person may not necessarily occupy an accessible home allocated a 'disabled parking' space. Marking bays as 'disabled parking' could lead to targeted hate crime against a disabled person.
2. A minimum of one flat should meet the specifications of a wheelchair standard home, a detailed in the Council's 'Accessible Hillingdon' Supplementary Planning Document.
3. In buildings containing 15 flats or more, or where a wheelchair standard home is situated above ground floor, two lifts should be featured to allow for increased use and/or to maintain wheelchair access in the event of a lift breakdown.
4. A minimum of one bathroom within each flat should be designed in accordance with Lifetime Home Standards. At least 700mm should be provided to one side of the WC, with a minimum of 1100mm provided between the front edge of the toilet pan and a door or wall opposite. A similar clear zone of 1100mm long by 700mm wide should be provided alongside the bathtub.
5. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gully drainage.

The Design & Access Statement should be revised to confirm adherence to all 16 Lifetime Home and Wheelchair Housing standards.

Conclusion: revised plans should be sought as a prerequisite to any planning approval, or planning conditions attached accordingly.

Officer Comment: It is considered that the requirements for the units complying with Lifetime Homes and wheelchair standards can be controlled via the imposition of appropriate conditions.

#### HOUSING:

The application currently under consideration now meets the amenity space requirements that were inadequate in the previous application. All the flats meet or exceed HDAS and London Housing Design Guide size standards and will meet level 4 of the Code for Sustainable Homes. The scheme offers 1:1 undercroft parking. On this basis Housing support the planning application which will supply much needed homes for local households.

The applicant is proposing 35% affordable housing but the actual flats indicated for affordable tenure are split across 2 floors it would be preferable that they were all on one floor. I would suggest the first floor as this includes the terrace deck. This would increase the affordable element to 14 habitable rooms from a total of 38 and the overall % calculated on a habitable room basis to 36.8%. Should this not be financially viable our preference would be to accept slightly less affordable and accept the 3rd floor which offers 4 flats or 10 habitable rooms and equates to 26.3% affordable calculated on a habitable room basis.

I am very conscious that it can be very difficult to get a Registered Provider to take on the affordable units on such a small development. I would suggest the S106 does not tie the applicant into a particular tenure as with so few units Registered Providers will probably want to opt for all affordable rent or all shared ownership.

**SECTION 106 OFFICER:**

Provides details of heads of terms likely to be required, including:

1. Transport: In line with the SPD and the TA there may be a requirement for highway/road improvements as a result of this proposal. If so then these may need to be secured via a s38 and/or s278 highways agreement. Please liaise with highways in the first instance.

2. Affordable Housing: In line with the SPD I note that the applicant is proposing to meet the 35% Affordable housing requirement by delivering 5 units as affordable rent. We do need to understand at what levels these units will be offered at to ensure they meet the affordability criteria. As such we need to request this information from the applicant.

3. Education: In line with the SPD a financial contribution in the sum of £34,667 should be secured for educational facilities and I will forward on the calculation sheet for uploading onto the planning database.

4. Health: In line with the SPD a financial contribution in the sum of £5,613.92 should be secured for health provision (equal to £216.67 x 25.91).

5. Libraries: In line with the SPD a financial contribution in the sum of £595.93 should be secured for library provision (equal to £23 x 25.91)

6. Construction Training: In line with the SPD, either a financial contribution or an in-kind scheme delivered during the construction phase of the development should be secured. In either event the 'obligation' should be delivered equal to the formula of £2,500 for every £1 million build cost +  $14/160 \times £71,675 =$  total contribution.

7. Recreational Open Space: In line with the SPD and depending upon the onsite usable amenity space there maybe a need for an off-site contribution to be secured as a result of this proposal. Please advise as to the adequateness of the on-site provision as proposed so further analysis can be undertaken.

8. Project Management and Monitoring Fee: In line with the SPD a financial contribution equal to 5% of the total cash contributions should be secured to enable the management and monitoring of the resulting agreement.

**7. MAIN PLANNING ISSUES**

**7.01 The principle of the development**

The site is located within the Hillingdon Heath Local Centre, as such, the proposal must be assessed against saved policies S9 and S10 of the UDP. As the site is outside of the identified core area of the Local Centre, changes of use can be considered, subject to

meeting the criteria of policies S6 and S7. Given that the past use of the site appears to have been for car sales (sui generis), it is considered that providing the ground floor units as retail space meets the objectives of the Council's shopping policies, by providing appropriate units in appropriate locations.

With regard to the proposed residential development on the upper floors, the loss of B1 office space is not restricted by Council policy. As such, it is considered that the principle of the residential use of the upper floors is acceptable in principle, subject to satisfying other material planning considerations.

#### **7.02 Density of the proposed development**

The London Plan requirements for this site (0.09ha), which is considered to be an urban site with a PTAL of 2, would be 70-170 u/ha and 200-450 hr/ha. The scheme proposes 14 units with 38 habitable rooms. This equates to a density of 155 u/ha and 422 hr/ha. As such, the proposed quantum of residential units is considered to be acceptable in this location.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a Conservation Area, Area of Special Local Character or Archaeological Priority Area, and there are no Listed Buildings on the site. As such, it is considered that the scheme would not impact in the heritage of the borough.

#### **7.04 Airport safeguarding**

BAA Safeguarding has reviewed the application and raise no objection to the application from an airport safeguarding perspective. As such, it is considered that the proposal would not impact on the safe operation of any airport.

#### **7.05 Impact on the green belt**

The site is not located within or near to the Green Belt. As such, it is considered that the scheme would not impact on the Green Belt.

#### **7.07 Impact on the character & appearance of the area**

Policies BE13, BE21, and BE22 seek to ensure that new development complements or improves the character and amenity of the area. Policy BE38 seeks the retention of topographical and landscape features, and provision of new planting and landscaping in developments proposals. London Plan policy 7.1 sets out a series of overarching design principles for development in London, and policy 7.6 seeks to promote world-class, high quality design and design-led change in key locations. In addition to Chapter 7, London Plan policies relating to density (3.4) and sustainable design and construction (5.3) are also relevant. The application site itself has no particular designation, forming part of the 'developed area'.

The Urban Design Officer raises no objections to the scale, height and massing of the proposed buildings. It is considered that the proposed additional storey should be set back and finished in a light colour to ensure it would not appear unduly prominent within the street scene and would be compatible with the scale of surrounding development.

Whilst there is no objection to the overall design of the proposal, the application should be used as a means to improve the external design of the building. It is considered that a condition be imposed on any permission requiring the submission of external details to improve the appearance of the building.

Subject to this condition, it is considered that the scheme is compliant with Policies BE13, BE21 and BE22 of the UDP, relevant London Plan policies and design guidance.

#### **7.08 Impact on neighbours**



Policies BE20 and BE24 seek to ensure that new development does not generate adverse impacts in respect to sunlight and privacy. Because of the orientation of the site, and the size and siting of the proposed buildings, no significant loss of daylight and sunlight to adjoining properties would result from this development.

In relation to outlook, policy BE21 requires new residential developments to be designed to protect the outlook of adjoining residents. The design guide 'Residential Layouts' advises that for two or more storey buildings, adequate distance should be maintained to avoid over dominance. A minimum distance of 15m is required, although this distance will be dependent on the extent and bulk of the buildings. This distance is achieved across the site. With regard to privacy, the site layout indicates that adequate separation distances would be provided between the proposed buildings and neighbouring residential properties in accordance with the guidelines in the HDAS 'Residential Layouts' Supplementary Planning Document and policy BE24 of the UDP. Privacy to the rear would be maintained by a screen surrounding the raised amenity deck, and the layout of the existing buildings on the neighbouring site, and the existing tree to the rear of 46 Nicholls Road.

It is recognised that the proposed terrace deck and screen to the rear of the property is marginally higher than the existing warehouse building on the site (by approximately 1m). However, the design of the deck and screen would appear as a much lighter structure than the existing warehouse building, and it is considered that the visual impact would not exceed the existing situation to the rear of 46 Nicholls Road. In addition, the existing tree would also serve to screen the development from 46 Nicholls Avenue, which is the nearest residential property to the development. As such, it is recommended that a condition be imposed requiring the protection of trees.

Furthermore the orientation of the proposal would not result in significant loss of light to neighbouring properties. It is not therefore considered that the proposal would result in an over dominant form of development which would detract from the amenities of neighbouring occupiers, in compliance with policy BE21 of the UDP.

It is not considered that there would be a material loss of daylight or sunlight to neighbouring properties, as the proposed buildings would be sited a sufficient distance away from adjoining properties. It is also considered given its layout that there will be a good level of day lighting for the proposed development. The proposed development is considered to be consistent with policies BE20, BE21 and BE24 of the UDP.

#### **7.09 Living conditions for future occupiers**

##### **AMENITY SPACE**

The amenity space provision required for this proposal is as follows:

1-bed x 4 x 20sqm = 80sqm  
2-bed x 10 x 25sqm = 250sqm  
Total = 330sqm

The communal amenity space equates to 340sqm of amenity deck to the rear and 75sqm of roof terrace, which provides a total of 415sqm of communal amenity space. In addition to this, private amenity space, consisting of two roof terraces, of 56sqm is provided. As such, the total amenity space proposed is 471sqm, which is in line with the size requirement.

The previous application was refused as the layout and location of the amenity space was

considered to be of insufficient quality commensurate to the size and layout of the proposal. This revised proposal includes a large amenity terrace to the rear of the building above the car park, which provides an adequate sized and usable space for all the flats. This, combined with the communal roof terrace areas, is considered to overcome the previous reason for refusal.

The proposed flat sizes and internal room sizes and layouts meet the requirements of the Mayor of London's Housing SPG.

#### INTERNAL LAYOUT

In terms of internal space standards and the quality of accommodation provided, the Hillingdon Design and Accessibility Statement (HDAS) 'Residential Layouts' requires all new residential units to be built to lifetime home standards and 10% of units designed to wheelchair accessible standards. Further guidance is also provided in the London Housing SPG on floor space standards for new residential development to ensure sound environmental conditions are provided on site. As a guide, the recommended minimum standards for residential units are:

1-bed 2-person flat - 50sqm  
2-bed 3-person flat - 61sqm  
2-bed 4-person flat - 70sqm

The floor space information provided by the applicant indicates that all the proposed units within the development achieve and in many cases exceed the London Housing SPG recommended floor space standards for all of the units.

The applicant has confirmed that Lifetime Home standards will be met for all the units, and this will be secured via a condition on any grant of permission.

Overall, it is considered that the amended proposals meet with the aims and objectives of the Council's policies and guidance and the London Plan.

#### OUTLOOK AND PRIVACY

In terms of outlook for future residents, Policy BE21 of the Unitary Development Plan Saved Policies seek to ensure that new development would not have a significant loss of residential amenity, by reason of the siting, bulk and proximity of new buildings.

In this regard, it is considered that the proposed site layout would provide a high standard of amenity for future occupiers. The layout will result in a satisfactory outlook from the proposed units in the buildings and reduce the potential for nuisance and disturbance to the future occupiers. As such, the development is considered to be consistent with relevant design guidance and policies BE21 and OE1 of the UDP.

It is noted that there is the potential from some internal overlooking from rear windows of the front flats to the flank windows of the flats to the rear. It is considered that small screens could be installed to the flank windows of these flats, namely flats 4, 5, 9, 10, and 13, that would remove any potential impact on the privacy of these units. The windows in the units that front out onto the terrace amenity deck have a sill level 1.8m above the deck. This would limit any impact on the privacy of these units from residents using the deck. A condition is recommended to ensure this is maintained. The deck is at a lower level than the floor levels of the first floor, so these would still have an acceptable outlook

and good sized windows. A condition requiring some form of privacy screen the the rear windows of flats 4 and 5 at terrace level is recommended on any grant of permission.

All of the units would benefit from an acceptable level of privacy and light, in compliance with the Council's standards given in The Hillingdon Design and Accessibility Statement (HDAS) 'Residential Layouts'.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

It is considered that the vehicle trip generation resulting from this proposal is not likely to significantly impact on the capacity of the highways network. Any issues resulting from the additional traffic generated as result of this proposal would likely be able to be mitigated via a Travel Plan and other sustainable transport options.

The proposal provides 14 car parking spaces for the 14 units proposed. This results in a ratio of one space per dwelling, to which the Council's Highway Officer raises no objection. Two disabled car parking spaces would also be provided, in accordance with requirements. Seven car parking spaces to the front of the site are proposed to be used for the commercial units. Again, the Council's Highway Officer does not object to this. A condition regarding the allocation of car parking is recommended on any permission.

#### **7.11 Urban design, access and security**

The design and access aspects of the proposal are addressed in other sections of this report.

The Council would expect scheme to adhere to the principles of Secured by Design, and a condition to ensure this would be imposed on any grant of planning permission.

#### **7.12 Disabled access**

The scheme is in compliance with Lifetime Homes standards, and this would be ensured via a condition on any permission. No detailed designs are provided of units to wheelchair standard, however, given the size of the units, modifications could easily be made to ensure they are accessible, which is also dealt with by way of an appropriate condition.

#### **7.13 Provision of affordable & special needs housing**

35 percent of the units proposed are to be affordable housing, which is in line with policy. With regard to the mix of units, the Council's Housing Officer has confirmed that the mix proposed is acceptable, however, some scope should be retained to allow for the provision of affordable units to be adjusted to suit the requirements of an RSL.

#### **7.14 Trees, landscaping and Ecology**

No trees or other significant landscape features will be affected by the development proposal. The area is built-up and urban in character, with little in the way of landscape enhancement nearby. The development provides space and opportunity for the provision improved landscaping to the site, however, these areas would require careful consideration and detailing to ensure that the hard and soft landscape is both attractive and functional. Landscape conditions would be required to preserve and enhance the visual amenities of the locality and to ensure that adequate facilities are provided.

#### **7.15 Sustainable waste management**

The plans indicate that refuse storage facilities will be provided for the commercial properties and the residential properties at ground floor level. The proposed facilities are considered to be acceptable in this instance, and would be controlled via a condition on any grant of permission.

#### **7.16 Renewable energy / Sustainability**

Policies within Chapter 5 of the London Plan require developments to provide for reductions in carbon emissions, including a reduction of 25% in carbon emissions, in line

with Code for sustainable Homes Level 4.

The application is supported by an assessment which indicates that the development should be able to achieve Level 4 of the Code for Sustainable Homes, and achieve a 25% reduction in carbon emissions. This is in line with policy requirements, and could be controlled via condition. An appropriate condition is recommended. It is noted that a number of kitchens and bathrooms would require mechanical ventilation, which has the potential to impact on the energy requirements of the site. While this is not ideal, the requirement that the scheme would need to meet Code Level 4 means that savings would need to be made elsewhere in the building while still achieving the required level of sustainability.

It is also recommended that electric vehicle charging points are required via a condition on any permission.

#### **7.17 Flooding or Drainage Issues**

The site does not fall within a flood zone and no issues relating to flooding have been identified.

London Plan policy 5.13 states that development proposals should use sustainable urban drainage systems (SUDS) unless there are good reasons for not doing so. In addition, given the scale of the development, it is considered that additional water efficiency measures should be incorporated into the scheme, in accordance with London Plan policy. These would be required by way of condition.

#### **7.18 Noise or Air Quality Issues**

The application seeks permission for a residential development within a residential area. It is not considered that the proposal gives rise to any concerns regarding noise for either future or neighbouring occupiers.

No noise assessment has been undertaken as part of the development proposal, which the Council's Environmental Protection Unit considered to be acceptable. The glazing configuration of residential development would need to meet the relevant building regulation standards.

It is considered that the scheme will have very little additional impact on noise and air quality in the area.

#### **7.19 Comments on Public Consultations**

The issues raised by objectors are assessed in the above report.

#### **7.20 Planning obligations**

Should the application be approved, a range of planning obligations would be sought to mitigate the impact of the development, in line with saved policy R17 of the Council's Unitary Development Plan.

The obligations sought are as follows:

1. Affordable Housing: at least 35% of the scheme (5 units) is to be delivered as affordable housing.
2. Education: a financial contribution in the sum of £34,667 towards educational facilities.
3. Health: a financial contribution in the sum of £5,613.92 towards health provision (equal to £216.67 x 25.91).

4. Libraries: a financial contribution in the sum of £595.93 towards library provision (equal to £23 x 25.91).

5. Construction Training: either a financial contribution, or an in-kind scheme delivered during the construction phase of the development, should be secured (in either event the 'obligation' should be delivered equal to the formula of £2,500 for every £1 million build cost +  $14/160 \times £71,675$  = total contribution).

6. Project Management and Monitoring Fee: a financial contribution equal to 5% of the total cash contributions towards the management and monitoring of the resulting agreement.

In addition to S106 contributions and other requirements, the Mayor of London's Community Infrastructure Levy (CIL) has introduced a charging system within Hillingdon of £35 per square metre of gross internal floor area to be paid to the GLA to go towards the funding of Crossrail. This application is CIL liable with respect to new floorspace being created, and the sum calculated for this application based on the floor area proposed is £8466.86.

#### **7.21 Expediency of enforcement action**

Not applicable in this instance.

#### **7.22 Other Issues**

No other issues.

#### **8. Observations of the Borough Solicitor**

None.

#### **9. Observations of the Director of Finance**

None.

#### **10. CONCLUSION**

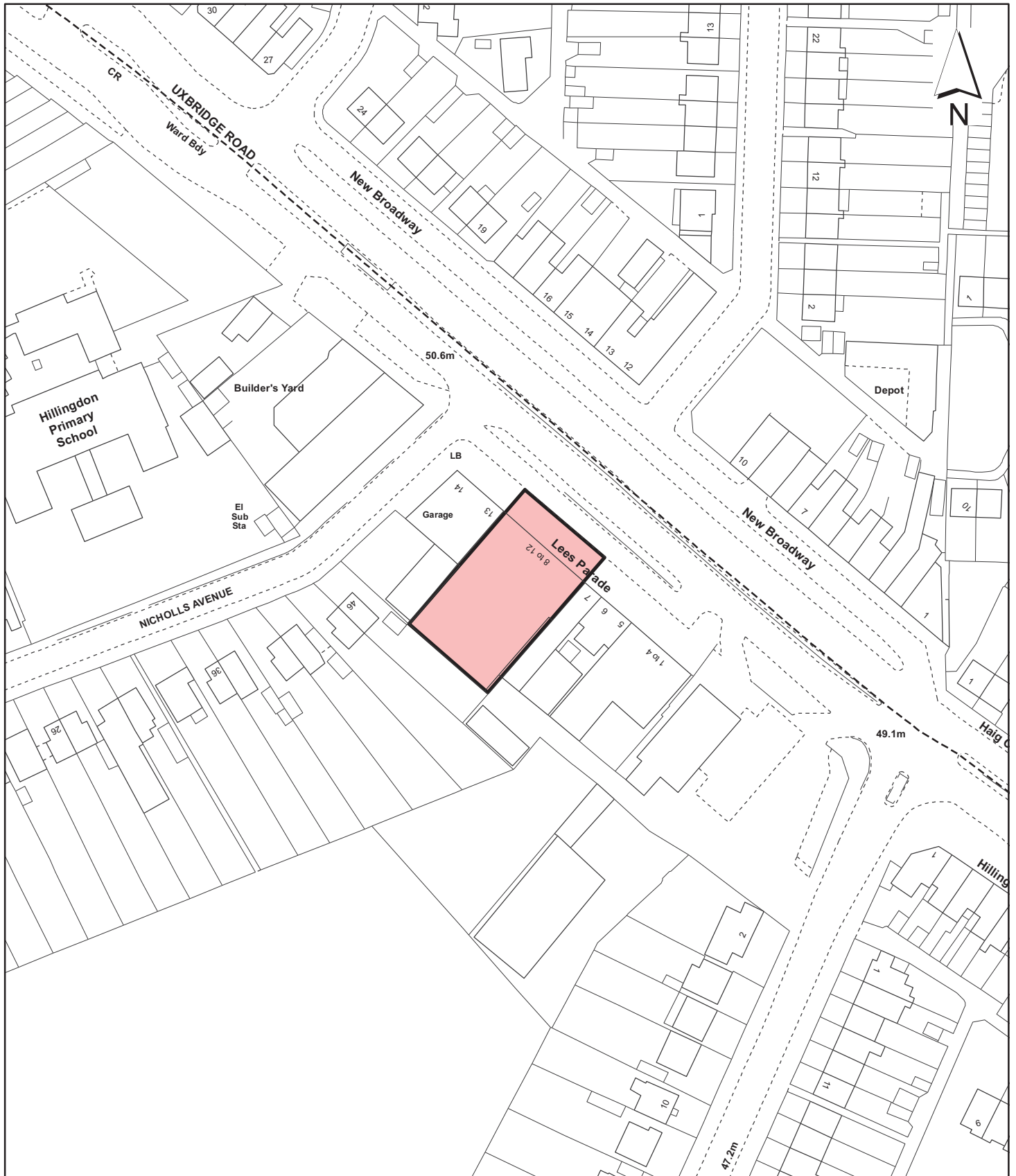
For the reasons provided throughout this report, the application is considered to be appropriate and acceptable and to comply with the relevant policies and planning guidance for the site. Therefore, the application is recommended for approval.

#### **11. Reference Documents**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Residential Layouts  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Noise  
Hillingdon Supplementary Planning Document - Planning Obligations; and Revised Chapter 4, Education Facilities: September 2010.  
Hillingdon Supplementary Planning Guidance - Air Quality  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Land Contamination

**Contact Officer:** Adam Flynn

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**8 - 12 Lees Parade  
Uxbridge Road  
Hillingdon**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111

Planning Application Ref:  
**1803/APP/2013/733**

Scale  
**1:1,250**

Planning Committee  
**Major Applications**

Date  
**May  
2013**



**HILLINGDON**  
LONDON

# Agenda Item 8

## Report of the Head of Planning, Sport and Green Spaces

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

**Development:** Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 6 and 7 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/852

**Drawing Nos:** 1834/PL03 Rev. A  
1834/PL00 Rev. A  
1834/PL04 Rev. A  
1834/PL06 Rev. A  
1834/PL07 Rev. C  
1834/PL08 Rev. A  
1834/PL09 Rev. A  
1834/PL10 Rev. B  
1834/PL11 Rev. A  
1834/PL01 Rev. C  
1834/PL02 Rev. B  
1834/PL12 Rev. A  
1834/PL13  
1834/PL14  
1834/PL15  
1834/PL16  
1834/PL17  
DS19080901.04 Rev. B  
Design & Access Statement  
Transport Statement, dated 20/07/10  
Tree Survey Report, dated 28/08/10  
Arboricultural Assessment and Arboricultural Method Statement, dated 15/10/10  
Phase 1 Ecological Survey, June 2010  
Phase 2 Ecological Survey (Bat and Reptiles) August 2010  
Low and Zero Carbon Technologies Options Appraisal, Final Report, July 2010  
Land Registry Documents  
Letter dated 07/10/10  
Reptile Mitigation Strategy to address the requirements of Condition 26 of Planning Permission 59214/APP/2010/1776, dated 28/08/2012  
Tree Survey Report, dated 28/08/09  
1834/PL202

<b>Date Plans Received:</b>	05/04/2013	<b>Date(s) of Amendment(s):</b>	18/10/2010
<b>Date Application Valid:</b>	09/04/2013		26/10/2010
			25/08/2010
			22/10/2012
			12/10/2010
			21/10/2010

**1. SUMMARY**

This application seeks to vary Condition 4 (Approved Plans) to allow the enlargement of the single storey rear additions on the semi-detached houses on Plots 4 and 5 and make changes to the internal layout and fenestration details which were previously approved as part of a scheme for 8 detached and 6 semi-detached houses on this site at the North Planning Committee meeting on 27th October 2010.

It is considered that the changes would not materially affect the character and appearance of the area and the amenities of adjoining residential properties would not be affected. The standard of residential accommodation provided is acceptable and the application is recommended for approval.

**2. RECOMMENDATION**

**That subject to no additional responses being received that raise relevant material planning considerations that have not already been considered in this report, delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

- (i) A financial contribution of £117,713 for education facilities and places
- (ii) A financial contribution of £11,678.51 for healthcare facilities and places.
- (iii) A financial contribution of £20,000 towards community facilities/the public realm.
- (iv) A financial contribution of £1,239.70 towards libraries.
- (v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.
- (vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).
- (vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:
  - a) Junction improvements to the site access with Ducks Hill Road
- (viii) Agreement that if the applicant implements this permission, they will not implement permission 59214/APP/2005/951 or any part thereof.

**2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any**



abortive work as a result of the agreement not being completed.

3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:

The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

5. That if the application is approved, the following conditions be attached:

**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1834/PL00 Rev. A, 1834/PL01 Rev. C, 1834/PL02 Rev. B, 1834/PL03 Rev. A, 1834/PL04 Rev. A, 1834/PL06 Rev. A, 1834/PL07 Rev. C, 1834/PL08 Rev. A, 1834/PL09 Rev. A, 1834/PL10 Rev. B, 1834/PL11 Rev. A, 1834/PL12 Rev. A, 1834/PL13, 1834/PL14, 1834/PL15, 1834/PL16, 1834/PL17 and 1834/PL202 and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and know datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies

(November 2012).

#### **4 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, , including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### **REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
4. Schedule for Implementation
  
5. Other
  - 5.a Existing and proposed functional services above and below ground
  - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### **REASON**

To ensure that the proposed development will preserve and enhance the visual amenities

of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (July 2011).

**6 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

**REASON**

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan - Saved Policies Unitary Development Plan (November 2012).

**7 RES12 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**8 RES13 Obscure Glazing**

With the exception of the south elevations of the houses on Plots 1 and 12 and the north west elevation on Plot 8, the first floor and rooflight windows on the side elevations of the houses shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining and proposed properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**9 NONSC Non Standard Condition**

The flat roof area of the single storey rear projecting additions hereby permitted on Plots

4, 5, 6 and 7 shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**11 NONSC Non Standard Condition**

Notwithstanding the approved plans, side screens glazed with permanently obscured glass shall be provided to the rear balconies on Plots 2, 3, 11, 12, 13 and 14 for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**12 NONSC Non Standard Condition**

The houses shall not be occupied until the access and parking spaces have been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority. The access road and parking spaces shall be permanently maintained and available for such at all times thereafter to the reasonable satisfaction of the Local Planning Authority.

REASON

To ensure the provision of a safe and convenient access for vehicular traffic, and adequate facilities are provided prior to occupation in accordance with Policies AM7(ii) and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**13 NONSC Non Standard Condition**

The development hereby approved shall not commence on site until full details of the access road junction have been submitted to and approved in writing by the Local Planning Authority. The houses shall not be occupied until the junction has been constructed in accordance with the approved details.

REASON

To ensure the provision of a safe and convenient access for vehicular traffic in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**14 NONSC Non Standard Condition**

The accesses to the proposed car parking spaces shall be provided with those parts of a

2.4m x 2.4m visibility splay which can be accommodated within the site in both directions and shall be maintained free of all obstacles to visibility between heights of 0.6m and 2.0m above the level of the adjoining highways.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**15 NONSC Non Standard Condition**

The proposed access to the site shall be provided with driver visibility splays of 2.4m x 90m in both directions and shall be maintained free of all obstacles to visibility (unless otherwise agreed by the Local Planning Authority) between the heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**16 NONSC Non Standard Condition**

Before the development hereby permitted commences, details of street lighting shall be submitted to and agreed in writing by the Local Planning Authority. The access road shall be lit in accordance with BS5489 - 1:2003, and the lighting shall be permanently maintained thereafter.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**17 NONSC Non Standard Condition**

Notwithstanding the details shown on Drw. No. 1834/PL00, revised details of the siting of the vehicle and pedestrian gates shall be submitted to and approved in writing by the Local Planning Authority, to ensure that the gates would be set back at least 10m from the edge of the highway. The development shall be carried out in strict accordance with the approved revised details.

**REASON**

To ensure, in the interests of highway and pedestrian safety, that adequate space would be available to allow vehicles entering the site to wait off the public highway whilst the gates opened, in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**18 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree

surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with Policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **19 NONSC Non Standard Condition**

No site clearance works or development shall be commenced until the fencing shown on Drw. No. DS19080901.04 Rev. B has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **20 NONSC Non Standard Condition**

The works shall be carried out in strict accordance with the revised Arboricultural Method Statement, dated 15th October 2010 received 18/10/2010.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **21 NONSC Non Standard Condition**

The development shall proceed in accordance with the Reptile Mitigation Plan shown in Appendix 4 of the Phase 2 Ecological Survey (Bat and Reptiles) Ref: R116/Final.

#### REASON

To ensure the ongoing protection of slow worm (UK Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **22 NONSC Non Standard Condition**

No trees shall be removed during the summer bat breeding season (May to August inclusive) and the winter bat hibernation season (December to February inclusive).

**REASON**

To minimise the risk of harm to Bats (a European Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**23 RES19 Ecology**

No development shall take place until a scheme to protect and enhance the nature conservation interest of the site has been submitted to and approved by the Local Planning Authority.

**REASON**

In order to encourage a wide diversity of wildlife on the existing semi-natural habitat of the site in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**24 RES26 Contaminated Land**

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use.

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement.

(ii) If during development or works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a verification report submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

**REASON:** To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy OE11 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**25 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.12 of the London Plan (July 2011).

#### **26 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with Policies 7.1 and 7.3 of the London Plan (July 2011).

#### **27 NONSC Non Standard Condition**

Prior to the commencement of works on site, full details of the bin collection point shown on Drw. No. 1834/PL15 received on 12/10/10 shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that adequate facilities are provided, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **28 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level



has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

#### REASON

To ensure that the objectives of sustainable development identified in Policies 5.1 and 5.3 of the London Plan (July 2011).

### INFORMATIVES

#### 1 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### 2 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

NPPF1

NPPF4

NPPF6

NPPF7

NPPF8

NPPF9

NPPF10

NPPF11

LPP 3.4 (2011) Optimising housing potential

LPP 3.5 (2011) Quality and design of housing developments

LPP 3.8 (2011) Housing Choice

LPP 3.13 (2011) Affordable housing thresholds

LPP 5.2 (2011) Minimising Carbon Dioxide Emissions

LPP 5.3 (2011) Sustainable design and construction

LPP 5.6 (2011) Decentralised Energy in Development Proposals

LPP 5.7 (2011) Renewable energy

LPP 5.9 (2011) Overheating and cooling

LPP 5.10 (2011) Urban Greening

LPP 5.11 (2011) Green roofs and development site environs

LPP 5.12 (2011) Flood risk management

LPP 5.13 (2011) Sustainable drainage

LPP 5.14 (2011) Water quality and wastewater infrastructure

LPP 5.15 (2011) Water use and supplies

LPP 6.10 (2011) Walking

(2011) Road Network Capacity

LPP 6.12	
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance
EC5	Retention of ecological features and creation of new habitats
BE7	Development schemes on the south-east side of Ducks Hill Road
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework,

SPG-CS	Supplementary Planning Document, adopted January 2010 Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

**3            I15            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**4            I21            Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

**5**

It is contrary to Section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

**6**

The applicant should enter into a S278 Agreement to carry out the access and lighting works on the highway as required.

**7**

As regards Condition 26 (Slow Worm Mitigation Strategy) of planning permission 59214/APP/2010/1776, which following the submission of further details was discharged on 19/12/12 (59214/APP/2012/2584), the Local Planning Authority wishes to bring to the attention of the developer the following:

1. No works should commence on site until the translocation has been completed

(probably towards the end of April - subject to suitable weather conditions).

2. Improved reptile hibernacula should be in place prior to the translocation starting.

3. The reptiles should be removed from the developable area of the site prior to works beginning and prevented from returning to the areas to be worked by appropriate fencing.

4. The reptiles should ideally be relocated to areas with negligible or no disturbance such as the Site of Importance for Nature Conservation (SINC) adjacent.

5. A method statement should be drawn up and available to workers on the site about the roles and responsibility regarding reptiles. It should also provide clear instructions on what needs to be done should any reptiles be encountered on site during the works.

## **8 IT05 Wildlife and Countryside Act 1981**

Wildlife and Countryside Act 1981: Note that it is an offence under this act to disturb roosting bats, nesting birds or other protected species. It is advisable to consult your tree surgeon/consultant to agree an acceptable time for carrying out any work.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site is located to the east of Ducks Hill Road, south of Mallard Way with the main part of the site set back by approximately 60m from the road, linked by a vehicular access. The irregular shaped site extends to approximately 0.76 hectares and generally slopes down towards the south and east. The site formerly comprised 5 residential properties but it has now been cleared and is currently vacant, and the access has been closed with hoarding. There are many mature trees on site, mainly located on the site boundaries with an open grassed area in the centre. The site is covered by TPO 41.

To the north, the site adjoins a two storey residential terrace in Mallard Way and further to the north, two detached houses in Chelwood Close. To the west of the site, north of the access, is Marchbank House, a detached block of 16 flats. To the east, south and west of the site (south of the access road) is a wooded area, which was previously worked as part of the Northwood Gravel Pits and now forms public open space and is part of the Green Belt and a designated Nature Conservation Site of Borough Grade II or Local Importance. The site forms part of the 'developed area' as identified in the adopted Unitary Development Plan Saved Policies (September 2007).

#### **3.2 Proposed Scheme**

This application seeks to vary the approved plans for the houses on Plots 4 and 5 in order to allow the previously approved 3.0m deep half width single storey rear additions, which would have been sited centrally on this pair of semi-detached houses to extend across the full width of the houses. The height of the parapet walls on the rear addition would increase from 3.1m to 3.6m and larger triple pane windows would be provided in each of its side elevations.

Alterations to the ground and first floor layouts and provisions to comply with Lifetime homes provision are also proposed.

Other external alterations involve omitting the rearmost ground floor windows in the side elevations and adding an additional first floor side window which would serve an en-suite wc on each of the houses.

### 3.3 Relevant Planning History

59214/APP/2010/1776 Land At 37-45 Ducks Hill Road Northwood

Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**Decision:** 16-11-2010 Approved

59214/APP/2011/1681 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 3 of planning permission ref. 59214/APP/2005/951 (dated 11th January 2006 for the erection of 6 two storey buildings with accommodation in roofspace to provide 21 residential flats with associated car parking) to allow for ongoing cyclical tree work to be carried out

**Decision:** 27-09-2011 Approved

59214/APP/2011/585 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 8 (obscure glazed and non-opening first floor and rooflight windows) of planning permission ref: 59214/APP/2010/1776 dated 16/11/2010: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping; to allow clear glazed and opening windows to be fitted on the south elevation of the house on Plot 1, the north-west elevation of the house on Plot 8 and the south elevation of the house on Plot 12.

**Decision:** 24-05-2011 Approved

#### Comment on Relevant Planning History

The original planning permission (59214/APP/2010/1776) for the erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping which this application seeks to amend was presented to the North Planning Committee meeting on the 27th October 2010 and permission was granted on 16th November 2010.

Subsequently, an application to vary Condition 8 (Obscure glazing and non-opening first and second floor and rooflight windows) so that it did not apply to one of the side elevations of the houses on Plots 1, 8 and 12 was approved on 24/5/11 (59214/APP/2011/585).

A further application to discharge Condition 26 (Reptile Mitigation Strategy) was approved on 19/12/12 (59214/APP/2012/2514).

A number of other applications have also been submitted, which seek to make various alterations to the originally approved scheme have also been submitted which are also being presented to this committee meeting.

### 4. Planning Policies and Standards

#### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.H1	(2012) Housing Growth
PT1.H2	(2012) Affordable Housing
PT1.BE1	(2012) Built Environment
PT1.EM1	(2012) Climate Change Adaptation and Mitigation
PT1.EM6	(2012) Flood Risk Management
PT1.EM7	(2012) Biodiversity and Geological Conservation
PT1.EM8	(2012) Land, Water, Air and Noise
PT1.T1	(2012) Accessible Local Destinations
PT1.CI1	(2012) Community Infrastructure Provision
PT1.39	To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

NPPF1	
NPPF4	
NPPF6	
NPPF7	
NPPF8	
NPPF9	
NPPF10	
NPPF11	
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.13	(2011) Affordable housing thresholds
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.6	(2011) Decentralised Energy in Development Proposals
LPP 5.7	(2011) Renewable energy
LPP 5.9	(2011) Overheating and cooling
LPP 5.10	(2011) Urban Greening
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 5.14	(2011) Water quality and wastewater infrastructure

LPP 5.15	(2011) Water use and supplies
LPP 6.10	(2011) Walking
LPP 6.12	(2011) Road Network Capacity
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance
EC5	Retention of ecological features and creation of new habitats
BE7	Development schemes on the south-east side of Ducks Hill Road
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.

AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **24th May 2013**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

9 neighbouring properties have been consulted and a site notice has been displayed at the entrance to the site. No comments have been received to date.

Northwood Residents' Association: No response received.

### Internal Consultees

URBAN DESIGN/CONSERVATION OFFICER:

The internal layouts have been changed from the approved drawings to accommodate accessibility requirements. However these alterations will impinge very little on the exterior appearance of the buildings, so there are no design objections.

Recommendation - Acceptable

S106 OFFICER:

A deed of variation will be required to the main s106 over the land to tie in these new planning references for any or all of the ones that are to be approved.

## 7. MAIN PLANNING ISSUES

### 7.01 The principle of the development

The acceptance of the principle of providing 14 houses on this site has already been established by the granting of the original permission. There has been no change in site circumstances or planning policy to suggest that the residential re-development of this site is no longer acceptable.

### 7.02 Density of the proposed development

The proposed alteration does not alter the unit or habitable room density of the scheme and the Mayor's density guidelines have not altered in relation to this scheme since the original application was previously considered.



### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

It was previously considered that the proposal would not affect any known archaeological remains, or impact upon any statutory or locally listed building, conservation area or area of special local character. There has been no change in site circumstances to suggest that this assessment is no longer valid.

### **7.04 Airport safeguarding**

There are no airport safeguarding issues raised by this application.

### **7.05 Impact on the green belt**

The proposed variation is sufficiently remote from the Green Belt boundary so that it would not have any impact upon its openness.

### **7.07 Impact on the character & appearance of the area**

The proposed variations to enlarge the single storey rear additions at the rear of this pair of semi-detached houses across their full widths would not have any material impact upon the character and appearance of the area. Furthermore, the height increase allows the rear elevation of these houses to be better proportioned. No objections are raised to the altered fenestration and re-siting of chimneys in design terms.

### **7.08 Impact on neighbours**

The proposed enlarged rear additions would be separated from the rear elevations of the nearest adjoining residential properties at Nos. 36 to 48 Mallard Way by 15.8m. This distance has marginally increased from the previously approved scheme due to the omission of the side extension. The boundary between the terraced block and Plot 6 is planted with maturing conifers, some 5 to 6m high and a smaller laurel hedge, some afford good screening.

As such, there would be no adverse residential impact upon neighbouring properties by reason of loss of light, dominance or loss of privacy.

### **7.09 Living conditions for future occupiers**

As the proposed houses with over 200 sqm. of internal floor space easily satisfy the Mayor's minimum floor spaces standards, the main impact of the revised proposal is upon the amount of retained amenity space. As the smallest of the rear gardens on Plot 6 would still provide some 138 sqm. of private amenity space, the proposal complies with the minimum 100 sqm. standard for houses for 5+ bedroom houses.

The house on Plot 6 was previously designed so that the half width single storey rear addition would screen the adjoining area of private amenity space at the rear of the house as this area would be potentially overlooked by the terraced block at Nos. 36 - 48 Mallard Way within a 21m distance. However, given the mature evergreen planting on this boundary, it is considered that the more exposed private amenity space would still afford an acceptable standard of privacy.

### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

No traffic or highway issues are raised by this application.

### **7.11 Urban design, access and security**

No specific issues are raised by this application.

### **7.12 Disabled access**

The Council's Access Officer has confirmed that the provisions made to satisfy Lifetime homes standards are acceptable.

### **7.13 Provision of affordable & special needs housing**

A Financial Viability Appraisal was submitted with the original application. At that time, officers were satisfied that the scheme was not capable of generating sufficient funds to

contribute towards affordable housing and there has not been any material changes in circumstance to suggest that this assessment is no longer valid.

**7.14 Trees, landscaping and Ecology**

The proposed amendment does not have any particular implications for trees, landscaping or ecology.

**7.15 Sustainable waste management**

The proposed amendment has no implications for sustainable waste management.

**7.16 Renewable energy / Sustainability**

A revised condition has been attached to ensure that the scheme satisfies Code Level 4 for Sustainable Homes.

**7.17 Flooding or Drainage Issues**

Previously it was advised that the site does not fall within an area prone to flooding and therefore no specific flooding issues were raised by the proposal.

**7.18 Noise or Air Quality Issues**

No noise or air quality issues are raised by this application.

**7.19 Comments on Public Consultations**

No comments to date have been received.

**7.20 Planning obligations**

The S106 Officer advises that a Deed of Variation for the S106 Agreement would be required.

**7.21 Expediency of enforcement action**

There are no enforcement issues raised by this application.

**7.22 Other Issues**

There are no other relevant planning issues raised by this application.

**8. Observations of the Borough Solicitor**

**9. Observations of the Director of Finance**

**10. CONCLUSION**

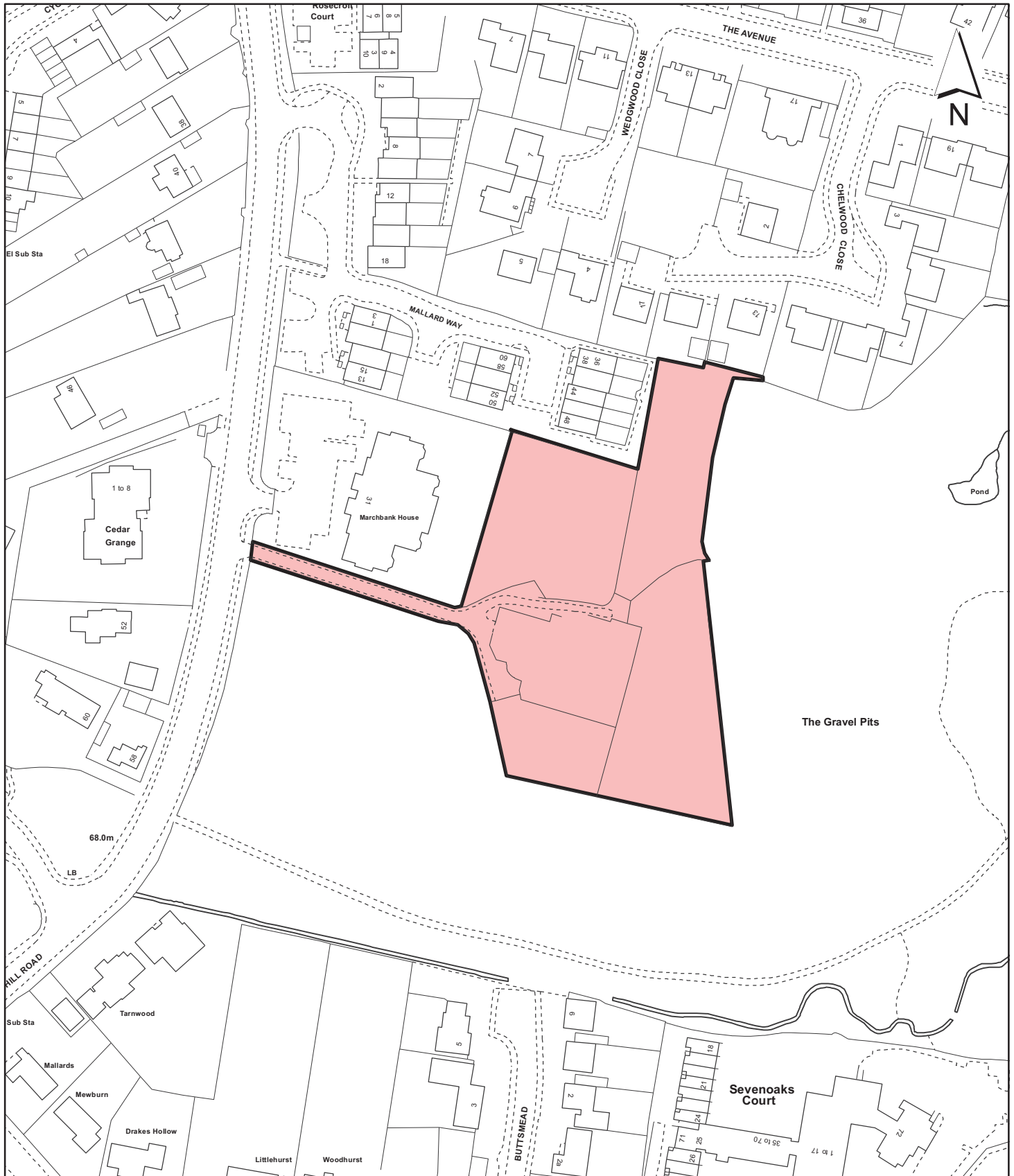
The proposed variation of Condition 4 to allow an enlarged single storey rear additions on Plots 4 and 5 and make relatively minor alterations to the configuration of the internal layout and fenestration is considered acceptable. The application is recommended accordingly.

**11. Reference Documents**

NPPF (March 2012)  
London Plan (July 2011)  
Hillingdon Local Plan - Saved Unitary Development Plan Policies (November 2012)  
HDAS: Residential Layouts (July 2006) & Accessible Hillingdon (January 2010)  
Planning Obligations Supplementary Planning Document, July 2007  
Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/852**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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# Agenda Item 9

## Report of the Head of Planning, Sport and Green Spaces

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

**Development:** Variation of Condition 4 (Approved Drawings) to allow the erection of a single storey rear addition, changes to disabled facilities and replacement of ground floor window on south elevation with door on Plot 10 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/849

**Drawing Nos:** 1834/PL00 Rev. A  
1834/PL01 Rev. C  
1834/PL02 Rev. B  
1834/PL03 Rev. A  
1834/PL04 Rev. A  
1834/PL05 Rev. B  
1834/PL07 Rev. C  
1834/PL09 Rev. A  
1834/PL10 Rev. B  
1834/PL11 Rev. A  
1834/PL12 Rev. A  
1834/PL13  
1834/PL14  
1834/PL15  
1834/PL16  
1834/PL17  
DS19080901.04 Rev. B  
Design & Access Statement  
Transport Statement, dated 20/07/10  
Tree Survey Report, dated 28/08/09  
Arboricultural Assessment and Arboricultural Method Statement, dated 15/10/10  
Phase 1 Ecological Survey, June 2010  
Phase 2 Ecological Survey (Bat and Reptiles), August 2010  
Low and Zero Carbon Technologies Options Appraisal, Final Report, July 2010  
Land Registry Documents  
Letter dated 07/10/10  
Reptile Mitigation Strategy to address the requirements of Condition 26 of Planning Permission 59214/APP/2010/1776, dated October 2012  
1834/PL402  
1834/PL06 Rev. A

<b>Date Plans Received:</b>	05/04/2013	<b>Date(s) of Amendment(s):</b>	30/07/2010
<b>Date Application Valid:</b>	09/04/2013		12/10/2010
			22/10/2012
			18/10/2010
			25/08/2010
			21/10/2010
			26/10/2010

## **1. SUMMARY**

This application seeks to vary Condition 4 (Approved Plans) to allow a single storey rear addition to be added to the detached house on Plot 10. Alterations to the ground floor layout and provisions to be made in order to comply with Lifetime homes standards are also proposed. The only other external alteration would be the replacement of a side door with a window which would now serve a wc. instead of a utility room.

It is considered that the changes would not materially affect the character and appearance of the area nor would the amenities of adjoining residential properties be adversely affected and the standard of residential accommodation provided is acceptable. The application is recommended for approval.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

- (i) A financial contribution of £117,713 for education facilities and places**
- (ii) A financial contribution of £11,678.51 for healthcare facilities and places.**
- (iii) A financial contribution of £20,000 towards community facilities/the public realm.**
- (iv) A financial contribution of £1,239.70 towards libraries.**
- (v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.**
- (vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).**
- (vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:
  - a) Junction improvements to the site access with Ducks Hill Road****
- (viii) Agreement that if the applicant implements this permission, they will not implement permission 59214/APP/2005/951 or any part there of.**

**2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.**

**3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:**

**The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).**

**4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the**

**completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.**

**5. That if the application is approved, the following conditions be attached:**

**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1834/PL00 Rev. A, 1834/PL01 Rev. C, 1834/PL02 Rev. B, 1834/PL03 Rev. A, 1834/PL04 Rev. A, 1834/PL05 Rev. B, 1834/PL06 Rev. A, 1834/PL07 Rev. C, 1834/PL09 Rev. A, 1834/PL10 Rev. B, 1834/PL11 Rev. A, 1834/PL12 Rev. A, 1834/PL13, 1834/PL14, 1834/PL15, 1834/PL16, 1834/PL17 and 1834/PL402 and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**4 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**5 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and

approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
4. Schedule for Implementation
  
5. Other
  - 5.a Existing and proposed functional services above and below ground
  - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (July 2011).

#### **6 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures



- to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
  - (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

**REASON**

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan - Saved Policies Unitary Development Plan (November 2012).

**7 RES12 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**8 RES13 Obscure Glazing**

With the exception of the south elevations of the houses on Plots 1 and 12 and the north west elevation on Plot 8, the first floor and rooflight windows on the side elevations of the houses shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining and proposed properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**9 NONSC Non Standard Condition**

The flat roof area of the single storey rear projecting additions hereby permitted on Plots 4, 5, 6, 7 and 10 shall not be used as a balcony, roof garden or similar amenity area.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

**REASON**

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

NONSC

~~Notwithstanding the approval conditions~~ **Non Standard Condition** The houses glazed with permanently obscured glass shall be provided to the rear balconies on Plots 2, 3, 11, 12, 13 and 14 for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**12 NONSC Non Standard Condition**

The houses shall not be occupied until the access and parking spaces have been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority. The access road and parking spaces shall be permanently maintained and available for such at all times thereafter to the reasonable satisfaction of the Local Planning Authority.

**REASON**

To ensure the provision of a safe and convenient access for vehicular traffic, and adequate facilities are provided prior to occupation in accordance with Policies AM7(ii) and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**13 NONSC Non Standard Condition**

The development hereby approved shall not commence on site until full details of the access road junction have been submitted to and approved in writing by the Local Planning Authority. The houses shall not be occupied until the junction has been constructed in accordance with the approved details.

**REASON**

To ensure the provision of a safe and convenient access for vehicular traffic in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**14 NONSC Non Standard Condition**

The accesses to the proposed car parking spaces shall be provided with those parts of a 2.4m x 2.4m visibility splay which can be accommodated within the site in both directions and shall be maintained free of all obstacles to visibility between heights of 0.6m and 2.0m above the level of the adjoining highways.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**15 NONSC Non Standard Condition**

The proposed access to the site shall be provided with driver visibility splays of 2.4m x 90m in both directions and shall be maintained free of all obstacles to visibility (unless otherwise agreed by the Local Planning Authority) between the heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**16 NONSC Non Standard Condition**

Before the development hereby permitted commences, details of street lighting shall be submitted to and agreed in writing by the Local Planning Authority. The access road shall be lit in accordance with BS5489 - 1:2003, and the lighting shall be permanently maintained thereafter.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**17 NONSC Non Standard Condition**

Notwithstanding the details shown on Drw. No. 1834/PL00, revised details of the siting of the vehicle and pedestrian gates shall be submitted to and approved in writing by the Local Planning Authority, to ensure that the gates would be set back at least 10m from the edge of the highway. The development shall be carried out in strict accordance with the approved revised details.

**REASON**

To ensure, in the interests of highway and pedestrian safety, that adequate space would be available to allow vehicles entering the site to wait off the public highway whilst the gates opened, in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**18 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

**REASON**

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with Policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

**19 NONSC Non Standard Condition**

No site clearance works or development shall be commenced until the fencing shown on Drw. No. DS19080901.04 Rev. B has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such

fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

**REASON**

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**20 NONSC Non Standard Condition**

The works shall be carried out in strict accordance with the revised Arboricultural Method Statement, dated 15th October 2010 received 18/10/2010.

**REASON**

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**21 NONSC Non Standard Condition**

The development shall proceed in accordance with the Reptile Mitigation Plan shown in Appendix 4 of the Phase 2 Ecological Survey (Bat and Reptiles) Ref: R116/Final.

**REASON**

To ensure the ongoing protection of slow worm (UK Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**22 NONSC Non Standard Condition**

No trees shall be removed during the summer bat breeding season (May to August inclusive) and the winter bat hibernation season (December to February inclusive).

**REASON**

To minimise the risk of harm to Bats (a European Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**23 RES19 Ecology**

No development shall take place until a scheme to protect and enhance the nature conservation interest of the site has been submitted to and approved by the Local Planning Authority.

**REASON**

In order to encourage a wide diversity of wildlife on the existing semi-natural habitat of the site in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**24 RES26 Contaminated Land**

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use.

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement.

(ii) If during development or works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a verification report submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

REASON: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy OE11 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

## **25 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;

ii. include a timetable for its implementation; and

iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

iv. provide details of water collection facilities to capture excess rainwater;

v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

**REASON**

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.12 of the London Plan (July 2011).

**26 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with Policies 7.1 and 7.3 of the London Plan (July 2011).

**27 NONSC Non Standard Condition**

Prior to the commencement of works on site, full details of the bin collection point shown on Drw. No. 1834/PL15 received on 12/10/10 shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure that adequate facilities are provided, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**28 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

**REASON**

To ensure that the objectives of sustainable development identified in Policies 5.1 and 5.3 of the London Plan (July 2011).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of

property) and Article 14 (prohibition of discrimination).

## **2            153            Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

NPPF1	
NPPF4	
NPPF6	
NPPF7	
NPPF8	
NPPF9	
NPPF10	
NPPF11	
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.13	(2011) Affordable housing thresholds
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.6	(2011) Decentralised Energy in Development Proposals
LPP 5.7	(2011) Renewable energy
LPP 5.9	(2011) Overheating and cooling
LPP 5.10	(2011) Urban Greening
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 5.14	(2011) Water quality and wastewater infrastructure
LPP 5.15	(2011) Water use and supplies
LPP 6.10	(2011) Walking
LPP 6.12	(2011) Road Network Capacity
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance

EC5	Retention of ecological features and creation of new habitats
BE7	Development schemes on the south-east side of Ducks Hill Road
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

### **3            I15            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.



C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

#### **4 I21 Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

#### **5**

It is contrary to Section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

#### **6**

The applicant should enter into a S278 Agreement to carry out the access and lighting works on the highway as required.

#### **7**

As regards Condition 26 (Slow Worm Mitigation Strategy) of planning permission 59214/APP/2010/1776, which following the submission of further details was discharged on 19/12/12 (59214/APP/2012/2584), the Local Planning Authority wishes to bring to the attention of the developer the following:

1. No works should commence on site until the translocation has been completed (probably towards the end of April - subject to suitable weather conditions).
2. Improved reptile hibernacula should be in place prior to the translocation starting.
3. The reptiles should be removed from the developable area of the site prior to works beginning and prevented from returning to the areas to be worked by appropriate fencing.
4. The reptiles should ideally be relocated to areas with negligible or no disturbance such as the Site of Importance for Nature Conservation (SINC) adjacent.
5. A method statement should be drawn up and available to workers on the site about the roles and responsibility regarding reptiles. It should also provide clear instructions on what needs to be done should any reptiles be encountered on site during the works.

#### **8 IT05 Wildlife and Countryside Act 1981**

Wildlife and Countryside Act 1981: Note that it is an offence under this act to disturb roosting bats, nesting birds or other protected species. It is advisable to consult your tree surgeon/consultant to agree an acceptable time for carrying out any work.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The site is located to the east of Ducks Hill Road, south of Mallard Way with the main part of the site set back by approximately 60m from the road, linked by a vehicular access. The irregular shaped site extends to approximately 0.76 hectares and generally slopes down towards the south and east. The site formerly comprised 5 residential properties but it has now been cleared and is currently vacant, and the access has been closed with hoarding. There are many mature trees on site, mainly located on the site boundaries with an open grassed area in the centre. The site is covered by TPO 41.

To the north, the site adjoins a two storey residential terrace in Mallard Way and further to the north, two detached houses in Chelwood Close. To the west of the site, north of the access, is Marchbank House, a detached block of 16 flats. To the east, south and west of the site (south of the access road) is a wooded area, which was previously worked as part of the Northwood Gravel Pits and now forms public open space and is part of the Green Belt and a designated Nature Conservation Site of Borough Grade II or Local Importance. The site forms part of the 'developed area' as identified in the adopted Unitary Development Plan Saved Policies (September 2007).

#### 3.2 Proposed Scheme

This application seeks to vary the approved plans for the house on Plot 10 in order to allow a single storey rear addition, which would extend 2.1m to align with the rear elevation of the previously approved two storey rear wing and be 6.2m wide to extend across the rest of the rear elevation of the house. The height of the parapet walls on the rear addition would increase from 3.1m to 3.6m and the extension would incorporate a roof lantern skylight.

Alterations to the ground floor layout and provisions to comply with Lifetime homes provision are also proposed.

The only other external alteration would be the replacement of a side door with a window which would now serve a wc. instead of a utility room.

#### 3.3 Relevant Planning History

59214/APP/2010/1776 Land At 37-45 Ducks Hill Road Northwood

Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**Decision:** 16-11-2010 Approved

59214/APP/2011/1681 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 3 of planning permission ref. 59214/APP/2005/951 (dated 11th January 2006 for the erection of 6 two storey buildings with accommodation in roofspace to provide 21 residential flats with associated car parking) to allow for ongoing cyclical tree work to be carried out

**Decision:** 27-09-2011 Approved

59214/APP/2011/585 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 8 (obscure glazed and non-opening first floor and rooflight windows) of planning permission ref: 59214/APP/2010/1776 dated 16/11/2010: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping; to allow clear glazed and opening windows to be fitted on the south elevation of the house on Plot 1, the north-west elevation of the house on Plot 8 and the south elevation of the house on Plot 12.

**Decision:** 24-05-2011 Approved

#### **Comment on Relevant Planning History**

The original planning permission (59214/APP/2010/1776) for the erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping which this application seeks to amend was presented to the North Planning Committee meeting on the 27th October 2010 and permission was granted on 16th November 2010.

Subsequently, an application to vary Condition 8 (Obscure glazing and non-opening first and second floor and rooflight windows) so that it did not apply to one of the side elevations of the houses on Plots 1, 8 and 12 was approved on 24/5/11 (59214/APP/2011/585).

A further application to discharge Condition 26 (Reptile Mitigation Strategy) was approved on 19/12/12 (59214/APP/2012/2514).

A number of other applications have also been submitted, which seek to make various alterations to the originally approved scheme have also been submitted which are also being presented to this committee meeting.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.H1	(2012) Housing Growth
PT1.H2	(2012) Affordable Housing
PT1.BE1	(2012) Built Environment
PT1.EM1	(2012) Climate Change Adaptation and Mitigation
PT1.EM6	(2012) Flood Risk Management
PT1.EM7	(2012) Biodiversity and Geological Conservation
PT1.EM8	(2012) Land, Water, Air and Noise
PT1.T1	(2012) Accessible Local Destinations
PT1.C11	(2012) Community Infrastructure Provision

PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

NPPF1

NPPF4

NPPF6

NPPF7

NPPF8

NPPF9

NPPF10

NPPF11

LPP 3.4 (2011) Optimising housing potential

LPP 3.5 (2011) Quality and design of housing developments

LPP 3.8 (2011) Housing Choice

LPP 3.13 (2011) Affordable housing thresholds

LPP 5.2 (2011) Minimising Carbon Dioxide Emissions

LPP 5.3 (2011) Sustainable design and construction

LPP 5.6 (2011) Decentralised Energy in Development Proposals

LPP 5.7 (2011) Renewable energy

LPP 5.9 (2011) Overheating and cooling

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SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **24th May 2013**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

A site notice has been displayed at the entrance to the site. No comments have been received.

Northwood Residents' Association: No response received.

### **Internal Consultees**

URBAN DESIGN/CONSERVATION OFFICER:

The internal layouts have been changed from the approved drawings to accommodate accessibility requirements. However these alterations will impinge very little on the exterior appearance of the buildings, so there are no design objections.

Recommendation - Acceptable

S106 OFFICER:

A deed of variation will be required to the main s106 over the land to tie in these new planning references for any or all of the ones that are to be approved.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The acceptance of the principle of providing 14 houses on this site has already been established by the granting of the original permission. There has been no change in site circumstances or planning policy to suggest that the residential re-development of this site is no longer appropriate.

### **7.02 Density of the proposed development**

The proposed alteration does not alter the unit or habitable room density of the scheme and the Mayor's density guidelines have not altered in relation to this scheme since the original application was previously considered.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

It was previously considered that the proposal would not affect any known archaeological remains, or impact upon any statutory or locally listed building, conservation area or area of special local character. There has been no change in site circumstances to suggest that this assessment is no longer valid.

### **7.04 Airport safeguarding**

There are no airport safeguarding issues raised by this application.

### **7.05 Impact on the green belt**

The proposed variation would not bring built development any closer to the Green Belt boundary so that it would not have any impact upon the openness of the adjoining Green Belt.

### **7.07 Impact on the character & appearance of the area**

The proposed variation to include a single storey rear addition would not have any material impact upon the character and appearance of the area. No objections are raised to the replacement of a side door with a window which would match the rest of the proposed fenestration.

#### **7.08 Impact on neighbours**

The proposed 2.1m deep rear extension would be set off the shared side boundary with Plot 9 by approximately 1.2m and would not encroach upon a 45 degree line of sight taken from this property's nearest rear facing window. As regards the other adjoining plot, the extension would not project beyond the two storey rear wing on this side of the house which would essentially screen the extension from Plot 11.

Privacy would be protected at ground floor level by boundary fencing. Furthermore, Condition 9 has been amended to prevent the new roof from being used as a roof terrace, roof garden or similar amenity area that would allow overlooking of the neighbouring rear gardens.

As such, there would be no adverse residential impact upon neighbouring properties by reason of loss of light, dominance or loss of privacy.

#### **7.09 Living conditions for future occupiers**

As the proposed house with over 200 sqm. of internal floor space easily satisfies the Mayor's minimum floor spaces standards, the main impact of the revised proposal is upon the amount of retained amenity space. As the rear garden would still provide over 140 sqm. of private amenity space, the proposal complies with the minimum 100 sqm. standard for 5+ bedroom houses.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

No traffic or highway issues are raised by this application.

#### **7.11 Urban design, access and security**

No specific issues are raised by this application.

#### **7.12 Disabled access**

The Council's Access Officer has confirmed that the provisions made to satisfy Lifetime homes standards are acceptable.

#### **7.13 Provision of affordable & special needs housing**

A Financial Viability Appraisal was submitted with the original application. At that time, officers were satisfied that the scheme was not capable of generating sufficient funds to contribute towards affordable housing and there has not been any material changes in circumstance to suggest that this assessment is no longer valid.

#### **7.14 Trees, landscaping and Ecology**

The proposed amendment does not have any particular implications for trees, landscaping or ecology.

#### **7.15 Sustainable waste management**

The proposed amendment has no implications for sustainable waste management.

#### **7.16 Renewable energy / Sustainability**

A revised condition has been attached to ensure that the scheme satisfies Code Level 4 for Sustainable Homes.

#### **7.17 Flooding or Drainage Issues**

Previously it was advised that the site does not fall within an area prone to flooding and therefore no specific flooding issues were raised by the proposal.

#### **7.18 Noise or Air Quality Issues**

No noise or air quality issues are raised by this application.

#### **7.19 Comments on Public Consultations**

No comments have been received.

#### **7.20 Planning obligations**

A Deed of Variation for the S106 Agreement would be required.

**7.21 Expediency of enforcement action**

There are no enforcement issues raised by this application.

**7.22 Other Issues**

There are no other relevant planning issues raised by this application.

**8. Observations of the Borough Solicitor**

**9. Observations of the Director of Finance**

**10. CONCLUSION**

The proposed variation of Condition 4 to allow a single storey rear addition on Plot 10 is considered acceptable. The application is recommended accordingly.

**11. Reference Documents**

NPPF (March 2012)

London Plan (July 2011)

Hillingdon Local Plan - Saved Unitary Development Plan Policies (November 2012)

HDAS: Residential Layouts (July 2006) & Accessible Hillingdon (January 2010)

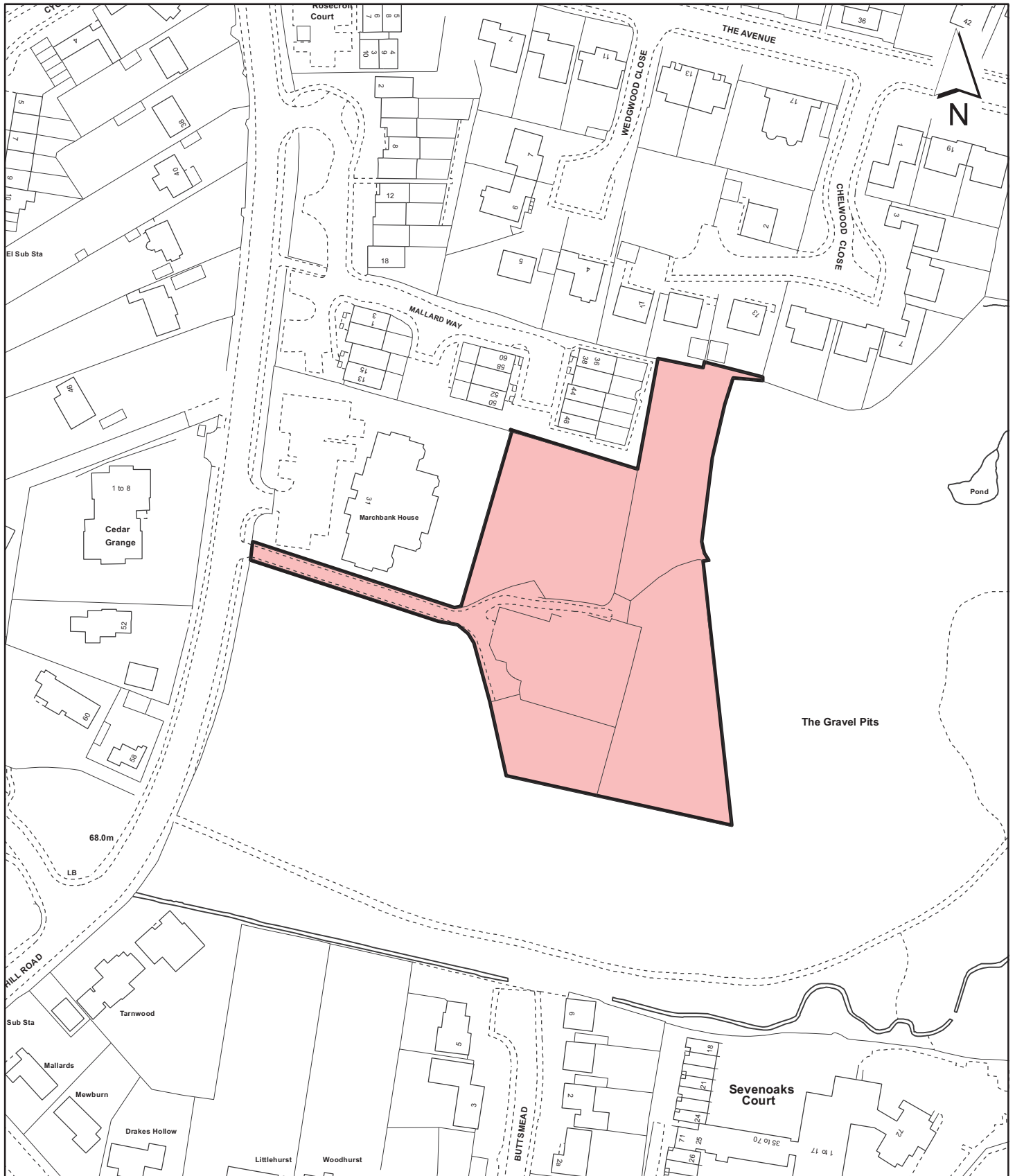
Planning Obligations Supplementary Planning Document, July 2007

Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230





**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/849**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning, Sport and Green Spaces

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

**Development:** Variation of Condition 4 (Approved Drawings) to allow study/games room to be provided for Plot 8 within the roofspace of the detached triple garage serving Plots 6, 7 and 8, involving replacement of a hip end with a gable roof, installation of two rear dormers and an external staircase of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/848

**Drawing Nos:** 1834/PL07 Rev. C  
1834/PL14  
1834/PL15  
1834/PL16  
1834/PL17  
DS19080901.04 Rev. B  
Design & Access Statement  
Transport Statement dated 20/07/10  
Tree Survey Report, dated 28/08/09  
Arboricultural Assessment and Arboricultural Method Statement, dated 15/10/10  
Phase 1 Ecological Survey, June 2010  
Phase 2 Ecological Survey (Bat and Reptiles), August 2010  
Low and Zero Carbon Technologies Options Appraisal, Final Report, July 2010  
Land Registry Documents  
Letter dated 07/10/10  
Reptile Mitigation Strategy to address the requirements of Condition 26 of Planning Permission 59214/APP/2010/1776, dated October 2012  
1834/PL302  
1834/PL13  
1834/PL01 Rev. C  
1834/PL02 Rev. B  
1834/PL03 Rev. A  
1834/PL04 Rev. A  
1834/PL05 Rev. B (Detached garage elevations have been superseded by 1834/PL302)  
1834/PL08 Rev. A  
1834/PL09 Rev. A  
1834/PL10 Rev. B  
1834/PL00 Rev. A  
1834/PL11 Rev. A  
1834/PL12 Rev. A  
Agent's letter dated 05/04/13

<b>Date Plans Received:</b>	05/04/2013	<b>Date(s) of Amendment(s):</b>	25/08/2010
<b>Date Application Valid:</b>	09/04/2013		21/10/2010
			12/10/2010

05/04/2013  
18/10/2010  
22/10/2012  
26/10/2010  
30/07/2010

## 1. **SUMMARY**

This application seeks to vary Condition 4 (Approved Plans) to allow the roof of the detached triple garage serving Plots 6, 7 and 8 to be gable ended, as opposed to being hipped and for two small dormers to be installed on the eastern (rear) elevation with the enlarged roof space providing a study/games room serving Plot 8 which would be accessed by an external staircase on the southern side elevation.

It is considered that the changes would not materially affect the character and appearance of the area and the amenities of adjoining residential properties would not be adversely affected. The application is recommended for approval.

## 2. **RECOMMENDATION**

**That subject to no additional responses being received that raise relevant material planning considerations that have not already been considered in this report, delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

- (i) A financial contribution of £117,713 for education facilities and places
- (ii) A financial contribution of £11,678.51 for healthcare facilities and places.
- (iii) A financial contribution of £20,000 towards community facilities/the public realm.
- (iv) A financial contribution of £1,239.70 towards libraries.
- (v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.
- (vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).
- (vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:
  - a) Junction improvements to the site access with Ducks Hill Road
- (viii) Agreement that if the applicant implements this permission, they will not implement permission 59214/APP/2005/951 or any part there of.

**2. That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.**

3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:

The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

5. That if the application is approved, the following conditions be attached:

**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1834/PL00 Rev. A, 1834/PL01 Rev. C, 1834/PL02 Rev. B, 1834/PL03 Rev. A, 1834/PL04 Rev. A, 1834/PL05 Rev. B (Detached garage elevations have been superseded by 1834/PL302), 1834/PL07 Rev. C, 1834/PL08 Rev. A, 1834/PL09 Rev. A, 1834/PL10 Rev. B, 1834/PL11 Rev. A, 1834/PL12 Rev. A, 1834/PL13, 1834/PL14, 1834/PL15, 1834/PL16, 1834/PL17 and 1834/PL302 and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **4 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, , including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### **REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
4. Schedule for Implementation
  
5. Other
  - 5.a Existing and proposed functional services above and below ground
  - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### **REASON**

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and

Policy 5.17 (refuse storage) of the London Plan (July 2011).

**6 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

**REASON**

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan - Saved Policies Unitary Development Plan (November 2012).

**7 RES12 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**8 RES13 Obscure Glazing**

With the exception of the south elevations of the houses on Plots 1 and 12 and the north west elevation on Plot 8, the first floor and rooflight windows on the side elevations of the houses shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining and proposed properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**9 NONSC Non Standard Condition**

The flat roof area of the single storey rear projecting additions hereby permitted on Plots 4, 5, 6 and 7 shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**11 NONSC Non Standard Condition**

Notwithstanding the approved plans, side screens glazed with permanently obscured glass shall be provided to the rear balconies on Plots 2, 3, 11, 12, 13 and 14 for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**12 NONSC Non Standard Condition**

The houses shall not be occupied until the access and parking spaces have been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority. The access road and parking spaces shall be permanently maintained and available for such at all times thereafter to the reasonable satisfaction of the Local Planning Authority.

REASON

To ensure the provision of a safe and convenient access for vehicular traffic, and adequate facilities are provided prior to occupation in accordance with Policies AM7(ii) and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**13 NONSC Non Standard Condition**

The development hereby approved shall not commence on site until full details of the access road junction have been submitted to and approved in writing by the Local Planning Authority. The houses shall not be occupied until the junction has been constructed in accordance with the approved details.

REASON

To ensure the provision of a safe and convenient access for vehicular traffic in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**14 NONSC Non Standard Condition**

The accesses to the proposed car parking spaces shall be provided with those parts of a 2.4m x 2.4m visibility splay which can be accommodated within the site in both directions and shall be maintained free of all obstacles to visibility between heights of 0.6m and



2.0m above the level of the adjoining highways.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**15 NONSC Non Standard Condition**

The proposed access to the site shall be provided with driver visibility splays of 2.4m x 90m in both directions and shall be maintained free of all obstacles to visibility (unless otherwise agreed by the Local Planning Authority) between the heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**16 NONSC Non Standard Condition**

Before the development hereby permitted commences, details of street lighting shall be submitted to and agreed in writing by the Local Planning Authority. The access road shall be lit in accordance with BS5489 - 1:2003, and the lighting shall be permanently maintained thereafter.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**17 NONSC Non Standard Condition**

Notwithstanding the details shown on Drw. No. 1834/PL00, revised details of the siting of the vehicle and pedestrian gates shall be submitted to and approved in writing by the Local Planning Authority, to ensure that the gates would be set back at least 10m from the edge of the highway. The development shall be carried out in strict accordance with the approved revised details.

**REASON**

To ensure, in the interests of highway and pedestrian safety, that adequate space would be available to allow vehicles entering the site to wait off the public highway whilst the gates opened, in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**18 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1,

Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with Policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

**19 NONSC Non Standard Condition**

No site clearance works or development shall be commenced until the fencing shown on Drw. No. DS19080901.04 Rev. B has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**20 NONSC Non Standard Condition**

The works shall be carried out in strict accordance with the revised Arboricultural Method Statement, dated 15th October 2010 received 18/10/2010.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**21 NONSC Non Standard Condition**

The development shall proceed in accordance with the Reptile Mitigation Plan shown in Appendix 4 of the Phase 2 Ecological Survey (Bat and Reptiles) Ref: R116/Final.

REASON

To ensure the ongoing protection of slow worm (UK Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**22 NONSC Non Standard Condition**

No trees shall be removed during the summer bat breeding season (May to August inclusive) and the winter bat hibernation season (December to February inclusive).

#### REASON

To minimise the risk of harm to Bats (a European Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **23 RES19 Ecology**

No development shall take place until a scheme to protect and enhance the nature conservation interest of the site has been submitted to and approved by the Local Planning Authority.

#### REASON

In order to encourage a wide diversity of wildlife on the existing semi-natural habitat of the site in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **24 RES26 Contaminated Land**

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use.

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement.

(ii) If during development or works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a verification report submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

REASON: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with Policy OE11 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **25 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that

sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.12 of the London Plan (July 2011).

#### **26 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with Policies 7.1 and 7.3 of the London Plan (July 2011).

#### **27 NONSC Non Standard Condition**

Prior to the commencement of works on site, full details of the bin collection point shown on Drw. No. 1834/PL15 received on 12/10/10 shall be submitted to and approved in writing by the Local Planning Authority.

#### REASON

To ensure that adequate facilities are provided, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **28 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

#### REASON

To ensure that the objectives of sustainable development identified in Policies 5.1 and 5.3 of the London Plan (July 2011).

### INFORMATIVES

#### 1 152 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### 2 153 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

NPPF1

NPPF4

NPPF6

NPPF7

NPPF8

NPPF9

NPPF10

NPPF11

LPP 3.4 (2011) Optimising housing potential

LPP 3.5 (2011) Quality and design of housing developments

LPP 3.8 (2011) Housing Choice

LPP 3.13 (2011) Affordable housing thresholds

LPP 5.2 (2011) Minimising Carbon Dioxide Emissions

LPP 5.3 (2011) Sustainable design and construction

LPP 5.6 (2011) Decentralised Energy in Development Proposals

LPP 5.7 (2011) Renewable energy

LPP 5.9 (2011) Overheating and cooling

LPP 5.10 (2011) Urban Greening

LPP 5.11 (2011) Green roofs and development site environs

LPP 5.12 (2011) Flood risk management

LPP 5.13 (2011) Sustainable drainage

LPP 5.14 (2011) Water quality and wastewater infrastructure

LPP 5.15 (2011) Water use and supplies

LPP 6.10 (2011) Walking

LPP 6.12 (2011) Road Network Capacity

LPP 6.13 (2011) Parking

LPP 7.1 (2011) Building London's neighbourhoods and communities

LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance
EC5	Retention of ecological features and creation of new habitats
EC6	Retention of wildlife habitats on derelict or vacant land
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004

**3 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**4 121 Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

**5**

It is contrary to Section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

**6**

The applicant should enter into a S278 Agreement to carry out the access and lighting works on the highway as required.

**7**

As regards Condition 26 (Slow Worm Mitigation Strategy) of planning permission 59214/APP/2010/1776, which following the submission of further details was discharged on 19/12/12 (59214/APP/2012/2584), the Local Planning Authority wishes to bring to the attention of the developer the following:

1. No works should commence on site until the translocation has been completed (probably towards the end of April - subject to suitable weather conditions).

2. Improved reptile hibernacula should be in place prior to the translocation starting.

3. The reptiles should be removed from the developable area of the site prior to works beginning and prevented from returning to the areas to be worked by appropriate fencing.

4. The reptiles should ideally be relocated to areas with negligible or no disturbance such as the Site of Importance for Nature Conservation (SINC) adjacent.

5. A method statement should be drawn up and available to workers on the site about the roles and responsibility regarding reptiles. It should also provide clear instructions on what needs to be done should any reptiles be encountered on site during the works.

## **8 IT05 Wildlife and Countryside Act 1981**

Wildlife and Countryside Act 1981: Note that it is an offence under this act to disturb roosting bats, nesting birds or other protected species. It is advisable to consult your tree surgeon/consultant to agree an acceptable time for carrying out any work.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site is located to the east of Ducks Hill Road, south of Mallard Way with the main part of the site set back by approximately 60m from the road, linked by a vehicular access. The irregular shaped site extends to approximately 0.76 hectares and generally slopes down towards the south and east. The site formerly comprised 5 residential properties but it has now been cleared and is currently vacant, and the access has been closed with hoarding. There are many mature trees on site, mainly located on the site boundaries with an open grassed area in the centre. The site is covered by TPO 41.

To the north, the site adjoins a two storey residential terrace in Mallard Way and further to the north, two detached houses in Chelwood Close. To the west of the site, north of the access, is Marchbank House, a detached block of 16 flats. To the east, south and west of the site (south of the access road) is a wooded area, which was previously worked as part of the Northwood Gravel Pits and now forms public open space and is part of the Green Belt and a designated Nature Conservation Site of Borough Grade II or Local Importance. The site forms part of the 'developed area' as identified in the adopted Unitary Development Plan Saved Policies (September 2007).

#### **3.2 Proposed Scheme**

This application seeks to vary the approved plans in order to allow the previously approved hipped roof on the detached triple garage serving Plots 6, 7 and 8 to be gable ended and for two small dormers to be installed on the eastern (rear) elevation with the enlarged roof space providing a study/games room serving Plot 8 which would be accessed by an external staircase on the southern side elevation. A ground floor door would be re-sited and a first floor door would be added to this side elevation.

#### **3.3 Relevant Planning History**

59214/APP/2010/1776 Land At 37-45 Ducks Hill Road Northwood

Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.



**Decision:** 16-11-2010    Approved

59214/APP/2011/1681    Land At 37-45 Ducks Hill Road Northwood

Variation of condition 3 of planning permission ref. 59214/APP/2005/951 (dated 11th January 2006 for the erection of 6 two storey buildings with accommodation in roofspace to provide 21 residential flats with associated car parking) to allow for ongoing cyclical tree work to be carried out

**Decision:** 27-09-2011    Approved

59214/APP/2011/585    Land At 37-45 Ducks Hill Road Northwood

Variation of condition 8 (obscure glazed and non-opening first floor and rooflight windows) of planning permission ref: 59214/APP/2010/1776 dated 16/11/2010: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping; to allow clear glazed and opening windows to be fitted on the south elevation of the house on Plot 1, the north-west elevation of the house on Plot 8 and the south elevation of the house on Plot 12.

**Decision:** 24-05-2011    Approved

#### **Comment on Relevant Planning History**

The original planning permission (59214/APP/2010/1776) for the erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping which this application seeks to amend was presented to the North Planning Committee meeting on the 27th October 2010 and permission was granted on 16th November 2010.

Subsequently, an application to vary Condition 8 (Obscure glazing and non-opening first and second floor and rooflight windows) so that it did not apply to one of the side elevations of the houses on Plots 1, 8 and 12 was approved on 24/5/11 (59214/APP/2011/585).

A further application to discharge Condition 26 (Reptile Mitigation Strategy) was approved on 19/12/12 (59214/APP/2012/2514).

A number of other applications have also been submitted, which seek to make various alterations to the originally approved scheme have also been submitted which are also being presented to this committee meeting.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.H1            (2012) Housing Growth

- PT1.H2 (2012) Affordable Housing
- PT1.BE1 (2012) Built Environment
- PT1.EM1 (2012) Climate Change Adaptation and Mitigation
- PT1.EM6 (2012) Flood Risk Management
- PT1.EM7 (2012) Biodiversity and Geological Conservation
- PT1.EM8 (2012) Land, Water, Air and Noise
- PT1.T1 (2012) Accessible Local Destinations
- PT1.C11 (2012) Community Infrastructure Provision
- PT1.39 To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

- NPPF1
- NPPF4
- NPPF6
- NPPF7
- NPPF8
- NPPF9
- NPPF10
- NPPF11
- LPP 3.4 (2011) Optimising housing potential
- LPP 3.5 (2011) Quality and design of housing developments
- LPP 3.8 (2011) Housing Choice
- LPP 3.13 (2011) Affordable housing thresholds
- LPP 5.2 (2011) Minimising Carbon Dioxide Emissions
- LPP 5.3 (2011) Sustainable design and construction
- LPP 5.6 (2011) Decentralised Energy in Development Proposals
- LPP 5.7 (2011) Renewable energy
- LPP 5.9 (2011) Overheating and cooling
- LPP 5.10 (2011) Urban Greening
- LPP 5.11 (2011) Green roofs and development site environs
- LPP 5.12 (2011) Flood risk management
- LPP 5.13 (2011) Sustainable drainage
- LPP 5.14 (2011) Water quality and wastewater infrastructure
- LPP 5.15 (2011) Water use and supplies

LPP 6.10	(2011) Walking
LPP 6.12	(2011) Road Network Capacity
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance
EC5	Retention of ecological features and creation of new habitats
EC6	Retention of wildlife habitats on derelict or vacant land
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway

	improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **29th May 2013**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

9 neighbouring properties have been consulted and a site notice has been displayed at the entrance to the site. No comments have been received to date.

Northwood Residents' Association: No response received.

### Internal Consultees

URBAN DESIGN/CONSERVATION OFFICER:

The internal layouts have been changed from the approved drawings to accommodate accessibility requirements. However these alterations will impinge very little on the exterior appearance of the buildings, so there are no design objections.

Recommendation - Acceptable

S106 OFFICER:

A deed of variation will be required to the main s106 over the land to tie in these new planning references for any or all of the ones that are to be approved.

## 7. MAIN PLANNING ISSUES

### 7.01 The principle of the development

The acceptance of the principle of providing 14 houses on this site has already been established by the granting of the original permission. There has been no change in circumstances on site or planning policy to suggest that the residential re-development of this site is no longer acceptable.

### 7.02 Density of the proposed development

The proposed alteration would only add one additional habitable room to the overall density of the scheme which is not considered significant. Furthermore, the Mayor's density guidelines have not altered in relation to this scheme since the original application was previously considered.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

It was previously considered that the proposal would not affect any known archaeological remains, or impact upon any statutory or locally listed building, conservation area or area of special local character. There has been no change in site circumstances to suggest that this assessment is no longer valid.

### **7.04 Airport safeguarding**

There are no airport safeguarding issues raised by this application.

### **7.05 Impact on the green belt**

The proposed variation would not significantly increase the bulk of the garage so that the openness of the adjoining Green Belt would not be unduly affected.

### **7.07 Impact on the character & appearance of the area**

The proposed alterations to the garage, with the main change replacing the hipped roof with a gable end and the installation of two rear dormers would not adversely affect the character of the area, with gable ends and dormers being a feature of a number of the proposed houses. The dormers are also sufficiently small and set in from the sides of the roof so as to appear subordinate within the roof slope.

The side external staircase would also not appear unduly prominent within the street scene, being sited towards the end of the cul-de-sac and it would be largely screened, being sited between the side elevation of the garage and the proposed house on Plot 8.

### **7.08 Impact on neighbours**

The proposed garage at its nearest point would be sited some 8m from the front elevation of the nearest property on Plot 7. As only part of the garage would be sited immediately in front of this property's front elevation, the 8m separation distance and the modest change from a hipped to a gable end roof would ensure that the residential amenities afforded by this property would be satisfactory in terms of loss of sunlight and dominance.

The two dormers would not overlook any adjoining property. As regards the external staircase, this would mainly overlook of the rear garden of Plot 8. The screening afforded by the house on Plot 8 would ensure that any potential for the overlooking of the private amenity space on Plot 9 which would be separated from the staircase by some 18m would be kept to a minimum.

Condition 7 would ensure that no additional windows are installed in the garage.

### **7.09 Living conditions for future occupiers**

The roof area would provide suitable space for a study/games room.

### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The proposed amendment does not alter the previously approved car parking layout.

### **7.11 Urban design, access and security**

No specific issues are raised by this application.

### **7.12 Disabled access**

The Council's Access Officer does not raise any objections to this scheme.

### **7.13 Provision of affordable & special needs housing**

A Financial Viability Appraisal was submitted with the original application. At that time, officers were satisfied that the scheme was not capable of generating sufficient funds to contribute towards affordable housing and there has not been any material changes in circumstance to suggest that this assessment is no longer valid.

### **7.14 Trees, landscaping and Ecology**

The proposed amendment does not have any particular implications for trees, landscaping

or ecology.

**7.15 Sustainable waste management**

The proposed amendment has no implications for sustainable waste management.

**7.16 Renewable energy / Sustainability**

A revised condition has been attached to ensure that the scheme satisfies Code Level 4 for Sustainable Homes.

**7.17 Flooding or Drainage Issues**

Previously it was advised that the site does not fall within an area prone to flooding and therefore no specific flooding issues were raised by the proposal.

**7.18 Noise or Air Quality Issues**

No noise or air quality issues are raised by this application.

**7.19 Comments on Public Consultations**

No comments to date have been received.

**7.20 Planning obligations**

The S106 Officer advises that a Deed of Variation for the S106 Agreement would be required.

**7.21 Expediency of enforcement action**

There are no enforcement issues raised by this application.

**7.22 Other Issues**

There are no other relevant planning issues raised by this application.

**8. Observations of the Borough Solicitor**

**9. Observations of the Director of Finance**

**10. CONCLUSION**

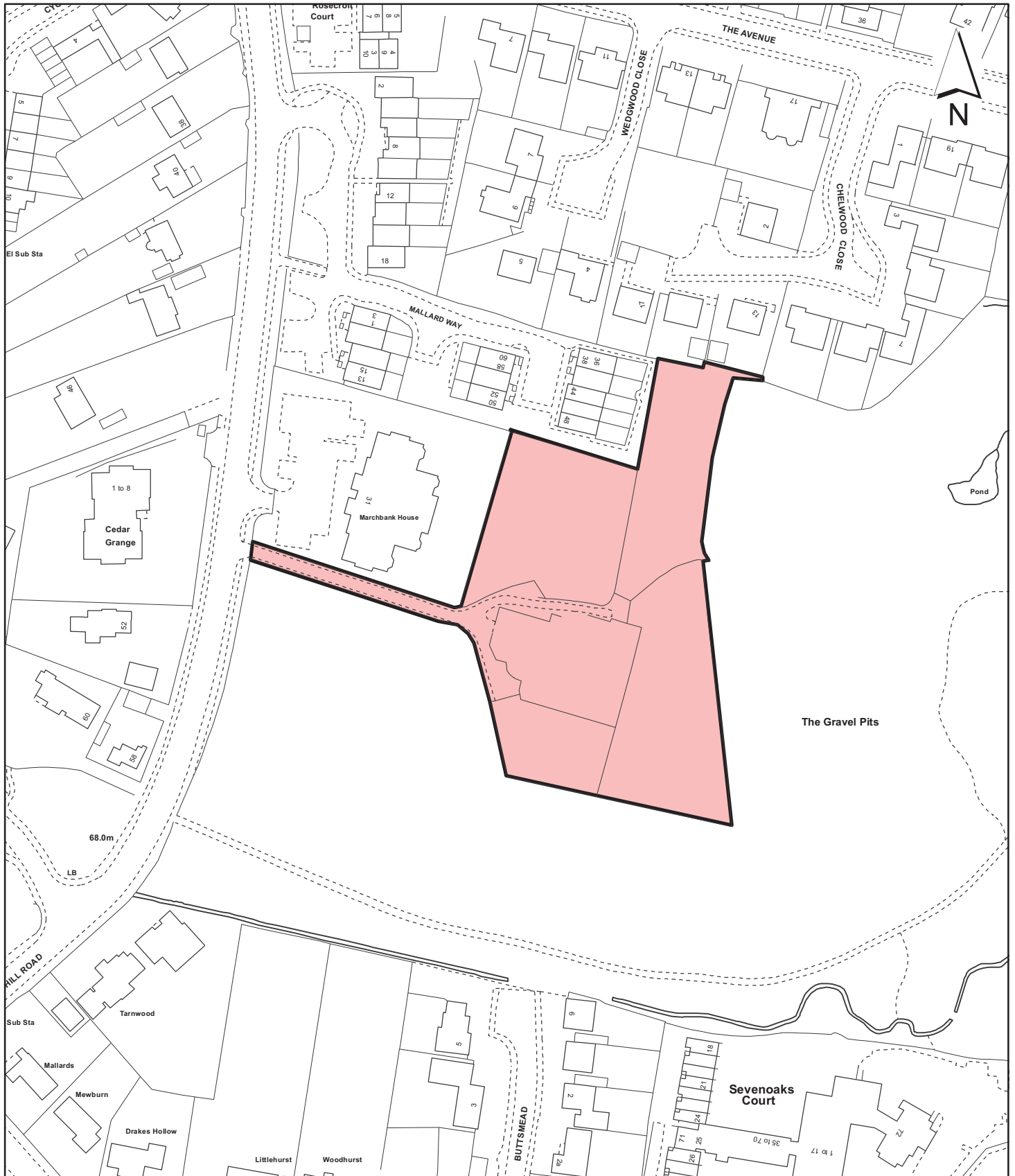
The proposed amendments to the triple garage serving Plots 6, 7 and 8 would not be detrimental to the visual amenities of the street scene or adversely affect the amenities of the proposed adjoining residential occupiers. The application is recommended accordingly.

**11. Reference Documents**

NPPF (March 2012)  
London Plan (July 2011)  
Hillingdon Local Plan - Saved Unitary Development Plan Policies (November 2012)  
HDAS: Residential Layouts (July 2006) & Accessible Hillingdon (January 2010)  
Planning Obligations Supplementary Planning Document, July 2007  
Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/848**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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A

<b>Item No.</b>	<b>Report of the Head of Planning, Building Control, Sport &amp; Green Spaces</b>		
<b>Address</b>	LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD		
<b>Development:</b>	Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 4 and 5 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.		
<b>LBH Ref Nos:</b>	59214/APP/2013/847		
<b>Drawing Nos:</b>	Tree Survey Report, dated 28/08/09 Arboricultural Assessment and Arboricultural Method Statement, dated 15/10/10 Phase 1 Ecological Survey, June 2010 Phase 2 Ecological Survey (Bat and Reptiles), August 2010 Low and Zero Carbon Technologies Options Appraisal, Final Report, July 2010 Land Registry Documents Letter dated 07/10/10 1834/PL00 Rev. A 1834/PL01 Rev. C 1834/PL02 Rev. B 1834/PL03 Rev. A 1834/PL05 Rev. B 1834/PL06 Rev. A 1834/PL07 Rev. C 1834/PL08 Rev. A 1834/PL09 Rev. A 1834/PL10 Rev. B 1834/PL102 1834/PL11 Rev. A 1834/PL12 Rev. A 1834/PL13 1834/PL14 1834/PL15 1834/PL16 1834/PL17 DS19080901.04 Rev. B Design & Access Statement Transport Statement, dated 20/07/10 Reptile Mitigation Strategy to address the requirements of Condition 26 of Planning Permission 59214/APP/2010/1776, dated October 2012		
<b>Date Plans Recieved:</b>	05/04/2013	<b>Date(s) of Amendment(s):</b>	26/10/2010
<b>Date Application Valid:</b>	09/04/2013		30/07/2010 18/10/2010

21/10/2010  
25/08/2010  
12/10/2010  
22/10/2012

## 1. **SUMMARY**

This application seeks to vary Condition 4 (Approved Plans) to allow the enlargement of the single storey rear additions on the semi-detached houses on Plots 4 and 5 and make changes to the internal layout and fenestration details which were previously approved as part of a scheme for 8 detached and 6 semi-detached houses on this site at the North Planning Committee meeting on 27th October 2010.

It is considered that the changes would not materially affect the character and appearance of the area and the amenities of adjoining residential properties would not be affected. The standard of residential accommodation provided is acceptable and the application is recommended for approval.

## 2. **RECOMMENDATION**

**That subject to no additional responses being received that raise relevant material planning considerations that have not already been considered in this report, delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

- (i) A financial contribution of £117,713 for education facilities and places
- (ii) A financial contribution of £11,678.51 for healthcare facilities and places.
- (iii) A financial contribution of £20,000 towards community facilities/the public realm.
- (iv) A financial contribution of £1,239.70 towards libraries.
- (v) A financial contribution towards training initiatives equal to £2,500 for every £1 million build cost.
- (vi) The applicants pay a sum to the Council of 5% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).
- (vii) The applicant shall agree to the full and complete costs to undertake the necessary works, as identified by the Council, for off site highway works, including:
  - a) Junction improvements to the site access with Ducks Hill Road
- (viii) Agreement that if the applicant implements this permission, they will not implement permission 59214/APP/2005/951 or any part there of.

**2. That in respect of the application for planning permission, the applicant meets**

the Council's reasonable costs in the preparation of the S106 Agreement and any abortive work as a result of the agreement not being completed.

3. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised by the 08th July 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:

The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of education, health, community facilities and libraries, construction and employment training facilities, monitoring and highway junction works). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

4. That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

5. That if the application is approved, the following conditions be attached:

**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1834/PL00 Rev. A, 1834/PL01 Rev. C, 1834/PL02 Rev. B, 1834/PL03 Rev. A, 1834/PL05 Rev. B, 1834/PL06 Rev. A, 1834/PL07 Rev. C, 1834/PL08 Rev. A, 1834/PL09 Rev. A, 1834/PL10 Rev. B, 1834/PL011 Rev. A, 1834/PL012 Rev. A, 1834/PL013, 1834/PL014, 1834/PL015, 1834/PL016, 1834/PL017 and 1834/PL102 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **4 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, , including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### **REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
4. Schedule for Implementation
5. Other
  - 5.a Existing and proposed functional services above and below ground
  - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (July 2011).

#### **6 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

#### REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan - Saved Policies Unitary Development Plan (November 2012).

#### **7 RES12 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

#### REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **8 RES13 Obscure Glazing**

With the exception of the south elevations of the houses on Plots 1 and 12 and the north west elevation on Plot 8, the first floor and rooflight windows on the side elevations of the houses shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

#### REASON

To prevent overlooking to adjoining and proposed properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**9 NONSC Non Standard Condition**

The flat roof area of the single storey rear projecting additions hereby permitted on Plots 4, 5, 6 and 7 shall not be used as a balcony, roof garden or similar amenity area.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

**REASON**

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**11 NONSC Non Standard Condition**

Notwithstanding the approved plans, side screens glazed with permanently obscured glass shall be provided to the rear balconies on Plots 2, 3, 11, 12, 13 and 14 for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**12 NONSC Non Standard Condition**

The houses shall not be occupied until the access and parking spaces have been laid out, surfaced and drained in accordance with details first submitted to, and approved in writing by, the Local Planning Authority. The access road and parking spaces shall be permanently maintained and available for such at all times thereafter to the reasonable satisfaction of the Local Planning Authority.

**REASON**

To ensure the provision of a safe and convenient access for vehicular traffic, and adequate facilities are provided prior to occupation in accordance with Policies AM7(ii) and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**13 NONSC Non Standard Condition**

The development hereby approved shall not commence on site until full details of the access road junction have been submitted to and approved in writing by the Local Planning Authority. The houses shall not be occupied until the junction has been constructed in accordance with the approved details.

**REASON**

To ensure the provision of a safe and convenient access for vehicular traffic in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**14 NONSC Non Standard Condition**

The accesses to the proposed car parking spaces shall be provided with those parts of a 2.4m x 2.4m visibility splay which can be accommodated within the site in both directions and shall be maintained free of all obstacles to visibility between heights of 0.6m and 2.0m above the level of the adjoining highways.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**15 NONSC Non Standard Condition**

The proposed access to the site shall be provided with driver visibility splays of 2.4m x 90m in both directions and shall be maintained free of all obstacles to visibility (unless otherwise agreed by the Local Planning Authority) between the heights of 0.6m and 2.0m above the level of the adjoining highway.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**16 NONSC Non Standard Condition**

Before the development hereby permitted commences, details of street lighting shall be submitted to and agreed in writing by the Local Planning Authority. The access road shall be lit in accordance with BS5489 - 1:2003, and the lighting shall be permanently maintained thereafter.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**17 NONSC Non Standard Condition**

Notwithstanding the details shown on Drw. No. 1834/PL00, revised details of the siting of the vehicle and pedestrian gates shall be submitted to and approved in writing by the Local Planning Authority, to ensure that the gates would be set back at least 10m from the edge of the highway. The development shall be carried out in strict accordance with the approved revised details.

**REASON**

To ensure, in the interests of highway and pedestrian safety, that adequate space would be available to allow vehicles entering the site to wait off the public highway whilst the gates opened, in accordance with Policy AM7(ii) of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**18 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be

planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with Policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **19 NONSC Non Standard Condition**

No site clearance works or development shall be commenced until the fencing shown on Drw. No. DS19080901.04 Rev. B has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **20 NONSC Non Standard Condition**

The works shall be carried out in strict accordance with the revised Arboricultural Method Statement, dated 15th October 2010 received 18/10/2010.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **21 NONSC Non Standard Condition**

The development shall proceed in accordance with the Reptile Mitigation Plan shown in Appendix 4 of the Phase 2 Ecological Survey (Bat and Reptiles) Ref: R116/Final.

#### REASON

To ensure the ongoing protection of slow worm (UK Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local



Plan: Part Two Saved UDP Policies (November 2012).

**22 NONSC Non Standard Condition**

No trees shall be removed during the summer bat breeding season (May to August inclusive) and the winter bat hibernation season (December to February inclusive).

**REASON**

To minimise the risk of harm to Bats (a European Protected Species) in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC2 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**23 RES19 Ecology**

No development shall take place until a scheme to protect and enhance the nature conservation interest of the site has been submitted to and approved by the Local Planning Authority.

**REASON**

In order to encourage a wide diversity of wildlife on the existing semi-natural habitat of the site in accordance with Policy 7.19 of the London Plan (July 2011) and Policy EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**24 RES26 Contaminated Land**

(i) The development hereby permitted shall not commence until a scheme to deal with contamination has been submitted in accordance with the Supplementary Planning Guidance on Land Contamination and approved by the Local Planning Authority (LPA). The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:

(a) A desk-top study carried out by a competent person to characterise the site and provide information on the history of the site/surrounding area and to identify and evaluate all potential sources of contamination and impacts on land and water and all other identified receptors relevant to the site;

(b) A site investigation, including where relevant soil, soil gas, surface and groundwater sampling, together with the results of analysis and risk assessment shall be carried out by a suitably qualified and accredited consultant/contractor. The report should also clearly identify all risks, limitations and recommendations for remedial measures to make the site suitable for the proposed use.

(c) A written method statement providing details of the remediation scheme and how the completion of the remedial works will be verified shall be agreed in writing with the LPA prior to commencement.

(ii) If during development or works contamination not addressed in the submitted remediation scheme is identified, an addendum to the remediation scheme must be agreed with the LPA prior to implementation; and

(iii) All works which form part of the remediation scheme shall be completed and a verification report submitted to the Council's Environmental Protection Unit before any part of the development is occupied or brought into use unless the LPA dispenses with any such requirement specifically and in writing.

**REASON:** To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with

Policy OE11 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**25 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

**REASON**

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.12 of the London Plan (July 2011).

**26 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with Policies 7.1 and 7.3 of the London Plan (July 2011).

**27 NONSC Non Standard Condition**

Prior to the commencement of works on site, full details of the bin collection point shown on Drw. No. 1834/PL15 received on 12/10/10 shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure that adequate facilities are provided, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**28 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

**REASON**

To ensure that the objectives of sustainable development identified in Policies 5.1 and 5.3 of the London Plan (July 2011).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

NPPF1

NPPF4

NPPF6

NPPF7

NPPF8

NPPF9

NPPF10

NPPF11

LPP 3.4 (2011) Optimising housing potential

LPP 3.5 (2011) Quality and design of housing developments

LPP 3.8 (2011) Housing Choice

LPP 3.13 (2011) Affordable housing thresholds

LPP 5.2 (2011) Minimising Carbon Dioxide Emissions

LPP 5.3 (2011) Sustainable design and construction

LPP 5.6 (2011) Decentralised Energy in Development Proposals

LPP 5.7 (2011) Renewable energy

LPP 5.9 (2011) Overheating and cooling

LPP 5.10 (2011) Urban Greening

LPP 5.11 (2011) Green roofs and development site environs

LPP 5.12 (2011) Flood risk management

LPP 5.13 (2011) Sustainable drainage

LPP 5.14	(2011) Water quality and wastewater infrastructure
LPP 5.15	(2011) Water use and supplies
LPP 6.10	(2011) Walking
LPP 6.12	(2011) Road Network Capacity
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.5	(2011) Public realm
LPP 7.6	(2011) Architecture
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
OL5	Development proposals adjacent to the Green Belt
OL26	Protection and enhancement of trees, woodland and landscape features
EC1	Protection of sites of special scientific interest, nature conservation importance and nature reserves Replaced by PT1.EM7 (2012)
EC2	Nature conservation considerations and ecological assessments
EC3	Potential effects of development on sites of nature conservation importance
EC5	Retention of ecological features and creation of new habitats
BE7	Development schemes on the south-east side of Ducks Hill Road
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement,

LDF-AH	Supplementary Planning Document, adopted July 2006 Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

### **3            I15            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

### **4            I21            Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

### **5**

It is contrary to Section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

### **6**

The applicant should enter into a S278 Agreement to carry out the access and lighting works on the highway as required.

### **7**

As regards Condition 26 (Slow Worm Mitigation Strategy) of planning permission 59214/APP/2010/1776, which following the submission of further details was discharged on 19/12/12 (59214/APP/2012/2584), the Local Planning Authority wishes to bring to the attention of the developer the following:

1. No works should commence on site until the translocation has been completed (probably towards the end of April - subject to suitable weather conditions).
2. Improved reptile hibernacula should be in place prior to the translocation starting.
3. The reptiles should be removed from the developable area of the site prior to works beginning and prevented from returning to the areas to be worked by appropriate fencing.
4. The reptiles should ideally be relocated to areas with negligible or no disturbance such as the Site of Importance for Nature Conservation (SINC) adjacent.
5. A method statement should be drawn up and available to workers on the site about the roles and responsibility regarding reptiles. It should also provide clear instructions on what needs to be done should any reptiles be encountered on site during the works.

## **8 IT05 Wildlife and Countryside Act 1981**

Wildlife and Countryside Act 1981: Note that it is an offence under this act to disturb roosting bats, nesting birds or other protected species. It is advisable to consult your tree surgeon/consultant to agree an acceptable time for carrying out any work.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site is located to the east of Ducks Hill Road, south of Mallard Way with the main part of the site set back by approximately 60m from the road, linked by a vehicular access. The irregular shaped site extends to approximately 0.76 hectares and generally slopes down towards the south and east. The site formerly comprised 5 residential properties but it has now been cleared and is currently vacant, and the access has been closed with hoarding. There are many mature trees on site, mainly located on the site boundaries with an open grassed area in the centre. The site is covered by TPO 41.

To the north, the site adjoins a two storey residential terrace in Mallard Way and further to the north, two detached houses in Chelwood Close. To the west of the site, north of the access, is Marchbank House, a detached block of 16 flats. To the east, south and west of the site (south of the access road) is a wooded area, which was previously worked as part of the Northwood Gravel Pits and now forms public open space and is part of the Green Belt and a designated Nature Conservation Site of Borough Grade II or Local Importance. The site forms part of the 'developed area' as identified in the adopted Unitary Development Plan Saved Policies (September 2007).

#### **3.2 Proposed Scheme**

This application seeks to vary the approved plans for the houses on Plots 4 and 5 in order to allow the previously approved 3.0m deep half width single storey rear additions, which would have been sited centrally on this pair of semi-detached houses to extend across the full width of the houses. The height of the parapet walls on the rear addition would increase from 3.1m to 3.6m and larger triple pane windows would be provided in each of its side elevations.

Alterations to the ground and first floor layouts and provisions to comply with Lifetime

homes provision are also proposed.

Other external alterations involve omitting the rearmost ground floor windows in the side elevations and adding an additional first floor side window which would serve an en-suite wc on each of the houses.

### 3.3 Relevant Planning History

59214/APP/2010/1776 Land At 37-45 Ducks Hill Road Northwood

Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**Decision:** 16-11-2010 Approved

59214/APP/2011/1681 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 3 of planning permission ref. 59214/APP/2005/951 (dated 11th January 2006 for the erection of 6 two storey buildings with accommodation in roofspace to provide 21 residential flats with associated car parking) to allow for ongoing cyclical tree work to be carried out

**Decision:** 27-09-2011 Approved

59214/APP/2011/585 Land At 37-45 Ducks Hill Road Northwood

Variation of condition 8 (obscure glazed and non-opening first floor and rooflight windows) of planning permission ref: 59214/APP/2010/1776 dated 16/11/2010: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping; to allow clear glazed and opening windows to be fitted on the south elevation of the house on Plot 1, the north-west elevation of the house on Plot 8 and the south elevation of the house on Plot 12.

**Decision:** 24-05-2011 Approved

#### Comment on Relevant Planning History

The original planning permission (59214/APP/2010/1776) for the erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping which this application seeks to amend was presented to the North Planning Committee meeting on the 27th October 2010 and permission was granted on 16th November 2010.

Subsequently, an application to vary Condition 8 (Obscure glazing and non-opening first and second floor and rooflight windows) so that it did not apply to one of the side elevations of the houses on Plots 1, 8 and 12 was approved on 24/5/11 (59214/APP/2011/585).

A further application to discharge Condition 26 (Reptile Mitigation Strategy) was approved on 19/12/12 (59214/APP/2012/2514).

A number of other applications have also been submitted, which seek to make various alterations to the originally approved scheme have also been submitted which are also being presented to this committee meeting.

## 4. Planning Policies and Standards

### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.H1	(2012) Housing Growth
PT1.H2	(2012) Affordable Housing
PT1.BE1	(2012) Built Environment
PT1.EM1	(2012) Climate Change Adaptation and Mitigation
PT1.EM6	(2012) Flood Risk Management
PT1.EM7	(2012) Biodiversity and Geological Conservation
PT1.EM8	(2012) Land, Water, Air and Noise
PT1.T1	(2012) Accessible Local Destinations
PT1.CI1	(2012) Community Infrastructure Provision
PT1.39	To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed.

Part 2 Policies:

NPPF1	
NPPF4	
NPPF6	
NPPF7	
NPPF8	
NPPF9	
NPPF10	
NPPF11	
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 3.13	(2011) Affordable housing thresholds
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
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LPP 5.13	(2011) Sustainable drainage



LPP 5.14	(2011) Water quality and wastewater infrastructure
LPP 5.15	(2011) Water use and supplies
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LPP 7.2	(2011) An inclusive environment
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BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
OE1	Protection of the character and amenities of surrounding properties and the local area
OE5	Siting of noise-sensitive developments
H4	Mix of housing units
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM2	Development proposals - assessment of traffic generation, impact on congestion

	and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **24th May 2013**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

29 neighbouring properties have been consulted and a site notice has been displayed at the entrance to the site. No comments have been received to date.

Northwood Residents' Association: No response received.

### **Internal Consultees**

URBAN DESIGN/CONSERVATION OFFICER:

The internal layouts have been changed from the approved drawings to accommodate accessibility requirements. However these alterations will impinge very little on the exterior appearance of the buildings, so there are no design objections.

Recommendation - Acceptable

S106 OFFICER:

A deed of variation will be required to the main s106 over the land to tie in these new planning references for any or all of the ones that are to be approved.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The acceptance of the principle of providing 14 houses on this site has already been established by the granting of the original permission. There has been no change in site circumstances or planning policy to suggest that the residential re-development of this site is no longer acceptable.

### **7.02 Density of the proposed development**

The proposed alteration does not alter the unit or habitable room density of the scheme and the Mayor's density guidelines have not altered in relation to this scheme since the original application was previously considered.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

It was previously considered that the proposal would not affect any known archaeological remains, or impact upon any statutory or locally listed building, conservation area or area of special local character. There has been no change in site circumstances to suggest that this assessment is no longer valid.

#### **7.04 Airport safeguarding**

There are no airport safeguarding issues raised by this application.

#### **7.05 Impact on the green belt**

The proposed variation is sufficiently remote from the Green Belt boundary so that it would not have any impact upon the openness of the adjoining Green Belt.

#### **7.07 Impact on the character & appearance of the area**

The proposed variation to extend the width of the previously approved half width single storey additions at the rear of this pair of semi-detached houses across their full width would not have any material impact upon the character and appearance of the area. Furthermore, the height increase allows the rear elevation of these houses to be better proportioned. No objections are raised to the altered fenestration.

#### **7.08 Impact on neighbours**

The proposed enlarged rear additions would be separated from the nearest adjoining residential properties at Nos. 36 to 48 Mallard Way by over 10m and would not project beyond their rear elevation. Furthermore, this terrace has a blank side elevation facing the application site and the boundary at this point is well screened by mature trees and shrubs. The extended rear addition would also be set over 25m away from the rear elevation of the flats in Marchbank House, the boundary of which is also well screened by mature vegetation which would also screen Nos. 50 - 60, the terraced block sited further to the west on Mallard Way. The addition would also be sufficiently distant from the proposed adjoining property on Plot 3 so that the 45 degree line of sight taken from the nearest ground floor window would not be breached.

Privacy would be protected at ground floor level by boundary fencing and windows in the side elevations above would be obscure glazed and non-opening which has been controlled by condition.

As such, there would be no adverse residential impact upon neighbouring properties by reason of loss of light, dominance or loss of privacy.

#### **7.09 Living conditions for future occupiers**

As the proposed houses with over 200 sqm. of internal floor space easily satisfy the Mayor's minimum floor spaces standards, the main impact of the revised proposal is upon the amount of retained amenity space. As the smallest of the rear gardens on Plot 4 would still provide over 120 sqm. of private amenity space, the proposal complies with the minimum 100 sqm. standard for houses for 5+ bedroom houses.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

No traffic or highway issues are raised by this application.

#### **7.11 Urban design, access and security**

No specific issues are raised by this application.

#### **7.12 Disabled access**

The Council's Access Officer has confirmed that the provisions made to satisfy Lifetime

homes standards are acceptable.

#### **7.13 Provision of affordable & special needs housing**

A Financial Viability Appraisal was submitted with the original application. At that time, officers were satisfied that the scheme was not capable of generating sufficient funds to contribute towards affordable housing and there has not been any material changes in circumstance to suggest that this assessment is no longer valid.

#### **7.14 Trees, landscaping and Ecology**

The proposed amendment does not have any particular implications for trees, landscaping or ecology.

#### **7.15 Sustainable waste management**

The proposed amendment has no implications for sustainable waste management.

#### **7.16 Renewable energy / Sustainability**

A revised condition has been attached to ensure that the scheme satisfies Code Level 4 for Sustainable Homes.

#### **7.17 Flooding or Drainage Issues**

Previously it was advised that the site does not fall within an area prone to flooding and therefore no specific flooding issues were raised by the proposal.

#### **7.18 Noise or Air Quality Issues**

No noise or air quality issues are raised by this application.

#### **7.19 Comments on Public Consultations**

No comments to date have been received.

#### **7.20 Planning obligations**

The S106 Officer advises that a Deed of Variation for the S106 Agreement would be required.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues raised by this application.

#### **7.22 Other Issues**

There are no other relevant planning issues raised by this application.

### **8. Observations of the Borough Solicitor**

### **9. Observations of the Director of Finance**

## **10. CONCLUSION**

The proposed variation of Condition 4 to allow an enlarged single storey rear additions on Plots 4 and 5 and make relatively minor alterations to the configuration of the internal layout and fenestration is considered acceptable. The application is recommended accordingly.

## **11. Reference Documents**

NPPF (March 2012)  
London Plan (July 2011)  
Hillingdon Local Plan - Saved Unitary Development Plan Policies (November 2012)  
HDAS: Residential Layouts (July 2006) & Accessible Hillingdon (January 2010)  
Planning Obligations Supplementary Planning Document, July 2007

Consultation responses

**Contact Officer:** Richard Phillips

**Telephone No:** 01895 250230

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## Report of the Head of Planning, Sport and Green Spaces

**Address** FORMER REINDEER PUBLIC HOUSE MAXWELL ROAD NORTHWOOD

**Development:** Minor Material Amendment application, seeking modifications to balconies of flats 2 & 6, amendments to the internal layouts of flats 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12; amendments to roof and introduction of roof terraces to flats 11 and 12; increase in depth of northern front bay, provision of doors to front gardens for flats 4 and 5, use of front bays as terraces for flats 8 and 9; and reconfiguration of windows on the south west (courtyard) elevation, together with amendments to Parking Control Methodology. (S73 Application for amendments to approved plans under condition 4 and variation of condition 7 of planning permission 18958/APP/2011/873 dated 13/07/2011 (residential development)).

**LBH Ref Nos:** 18958/APP/2013/694

**Drawing Nos:** Parking Control Methodology  
1586 PC 004  
1586 PC 005  
1586 PC 010  
1586 PC 011  
1586 PC 012  
1586 PC 012 Window Schedule  
1586 PC 401 Door Schedule  
1586 PC 815 Podium  
1586 PC 100 A  
1586 PC 101 A  
1586 PC 102 A  
1586 PC 000  
1586 PC 816 Railings  
1586 PC 103 A  
1586 PC 104 B  
1586 PC 300 B  
1586 PC 301 B  
1586 PC 302 B  
1586 PC 303 B  
1586 PC 310  
1586 PC 311  
1586 PC 312  
1586 PC 313

**Date Plans Received:** 20/03/2013                      **Date(s) of Amendment(s):** 29/05/2013  
**Date Application Valid:** 25/03/2013                      20/03/2013

### 1. SUMMARY

The application seeks minor material amendments to the planning permission 18958/APP/2011/873 13/07/2011 which was granted on 13/07/2011. In addition the applicants are seeking a variation of condition 7 of the consented planning approval, to allow for some level of flexibility, enabling use of the spaces to be reserved for those who are mobility impaired, in addition to those using a wheelchair.

The amendments would not result in any adverse impacts on the character of the area, the amenity of neighbouring residents or future occupiers of the development. Furthermore, the development would maintain compliance with all other policies as secured under the original permission.

Subject to appropriate conditions and a legal agreement, the application is recommended for approval.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to the following:**

**1. That the Council enter into a legal agreement with the applicants under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or S278 of the Highways Act (as amended) or other appropriate legislation to secure:**

**(i). Off Site Highways Works**

**ii). Education: A financial contribution for nursery and primary school places in the sum of £28,287.**

**(iii). Health: The Primary Care Trust have sought a contribution towards local primary health care facilities in the sum of £4,554.40.**

**(iv). Community facilities: A contribution in the sum of £10,000 towards expansion of local community facilities has been agreed.**

**(v). Libraries: A contribution in the sum of £483 towards library books has been agreed.**

**(vi). Open space: a contribution in the sum of £28,000 has been agreed towards local open space and recreation improvements (this is in line with the previous application).**

**(vii). Construction Training: A contribution of £ 5,000 towards the cost of providing construction skills training within the Borough has been agreed.**

**(viii). Project Management and Monitoring: A contribution to wards project management and monitoring has been agreed, equal to 5% of the total cash contributions secured from this proposal.**

**2. That the applicant meets the Council's reasonable costs in the preparation of the Legal Agreement and any abortive work as a result of the agreement not being completed.**

**3. If the Legal Agreement(s) has not been finalised before 23/06/13, delegated authority be given to the Head of Planning, Sport and Green Spaces to refuse permission for the following reason:**

**The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development, including the provision of off-site highways works and contributions for education, health, community facilities, libraries, open space provision and construction training. The scheme therefore conflicts with Policies AM2, AM7 and R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Hillingdon Planning Obligations Supplementary Document (July 2008).**

**4. That officers be authorised to negotiate and agree the detailed terms of the proposed agreement.**



**5. That on completion of the S106 Agreement, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to no material objections being received to the public consultation.**

**6. That if the application is approved, the following conditions be attached:**

**1 T8 Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 M1 Details/Samples to be Submitted**

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority. Such details shall include:

- (i) fenestration and doors
- (ii) balconies
- (iii) boundary walls and railings
- (iv) external lighting
- (v) comprehensive colour scheme for all built details

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**3 M3 Boundary treatment - details**

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building is occupied or in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

**REASON**

To safeguard the visual amenities of the area in accordance with Policy BE13 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**4 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:

- 1586 PC 000
- 1586 PC 100
- 1586 PC 101
- 1586 PC 102
- 1586 PC 103
- 1586 PC 104
- 1586 PC 816 Railings
- Parking Control Methodology

1586 PC 300  
1586 PC 301  
1586 PC 302  
1586 PC 303  
1586 PC 004  
1586 PC 005  
1586 PC 010  
1586 PC 011  
1586 PC 012  
1586 PC 012 Window Schedule  
1586 PC 401 Door Schedule  
1586 PC 815 Podium

and shall thereafter be retained/maintained for as long as the development remains in existence.

#### REASON

To ensure the development complies with the provisions of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012). and the London Plan (July 2011).

#### **5 DIS1 Facilities for People with Disabilities**

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the development and thereafter permanently retained.

#### REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and London Plan Policies 3.1, 3.8 and 7.2.

#### **6 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further, one of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan Policies 3.1, 3.8 and 7.2.

#### **7 A21 Parking for Wheelchair Disabled People**

Two parking spaces (with dimensions of 4.8m x 3.6m clearly line marked horizontally), to allow for wheelchair transfer to and from the side of car shall be reserved exclusively for people who are mobility impaired and/or using a wheelchair, unless there are no disabled occupants within the development, in accordance with the approved Parking Control Methodology, and unless otherwise agreed in writing by the Local Planning Authority. Such parking spaces shall be sited in close proximity to the nearest accessible building entrance with dropped kerbs provided from the car park to the pedestrian area. These parking spaces shall be provided prior to the occupation of the development. Thereafter, these facilities shall be permanently retained unless otherwise agreed in writing by the Local Planning Authority.

#### REASON

To ensure that people in wheelchairs are provided with adequate car parking and convenient access to building entrances, in accordance with Policy AM15 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and London Plan Policies 3.1, 3.8 and 7.2.

#### **8 H1 Traffic Arrangements - submission of details**

Development shall not begin until details of all traffic arrangements (including where appropriate carriageways, footways, turning space, safety strips, sight lines at road junctions, kerb radii, car parking areas and marking out of spaces, loading facilities, closure of existing access and means of surfacing) have been submitted to and approved in writing by the Local Planning Authority. The approved development shall not be occupied until all such works have been constructed in accordance with the approved details. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide or at least 3.0m wide where two adjacent bays may share an unloading area.

#### REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policy AM14 of of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **9 H13 Installation of gates onto a highway**

No gates shall be installed which open outwards over the highway/footway.

#### REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM7 and AM8 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **10 NONSC Non Standard Condition**

The access for the proposed development shall be provided with 2.4m x 2.4m pedestrian visibility splays in both directions and the visibility splays shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

#### REASON

In the interest of highway safety in accordance with Policy AM7 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **11 NONSC Non Standard Condition**

Development shall not begin until details of the shuttle signals with a vehicle detection system at the entrance and exit of the access ramp have been submitted to and approved by the Local Planning Authority. The development shall not be occupied until the works which have been approved by the Local Planning Authority have been completed. Thereafter, these facilities shall be permanently retained.

#### REASON

In the interests of highway safety and in compliance with Policy AM7 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **12 H12 Closure of Existing Access**

The existing vehicular access at the site, shall be closed, the dropped kerb removed and the footway reinstated to match the adjoining footway within one month of the new access hereby approved being completed.

**REASON**

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM7 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**13 H15 Cycle Storage - In accordance with approved plans**

The development hereby permitted, shall not be occupied until the cycle storage facilities for 11 bicycles have been provided in accordance with the approved plans. Thereafter, these facilities shall be permanently retained on site and be kept available for the use of cyclists.

**REASON**

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and Policy 6.9 of the London Plan.

**14 NONSC Non Standard Condition**

Development shall not begin until details of the new vehicular access off Maxwell Road, including details of the pedestrian crossing point (tactile paving) and the relocation of the on street parking bays in Maxwell Road, have been submitted to and approved in writing by the Local Planning Authority. The development shall not be occupied until the works which have been approved by the Local Planning Authority have been completed.

**REASON**

In the interests of highway safety and in compliance with Policy AM7 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**15 N1 Noise-sensitive Buildings - use of specified measures**

Development shall not begin until a sound insulation and ventilation scheme for protecting the proposed development from road traffic and other noise has been submitted to and approved in writing by the Local Planning Authority. The scheme shall meet acceptable internal noise design criteria. All works which form part of the scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

**REASON**

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic and other noise, in accordance with Policy OE5 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and Policy 7.15 of the London Plan.

**16 OM11 Floodlighting**

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources, light spillage and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local

Planning Authority other than for routine maintenance which does not change its details.

**REASON**

To safeguard the amenity of surrounding properties and in the interests of highway safety, in accordance with Policies BE13 and OE1 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and Policy 7.1 of the London Plan.

**17 OM14 Secured by Design**

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 7.1 and 7.3 of the London Plan.

**18 OM19 Construction Management Plan**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

**REASON**

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**19 OM2 Levels**

No development shall take place until plans of the site showing the existing and proposed

ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**20 OM5 Provision of Bin Stores**

The secure and screened storage facilities for refuse and recyclables as shown on the approved plans shall be provided prior to the occupation of any units within the site and thereafter the facilities shall be permanently retained.

**REASON**

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**21 SUS1 Energy Efficiency Major Applications (full)**

No development shall take place on site until an energy efficiency report has been submitted to, and approved in writing by the Local Planning Authority. The energy efficiency report shall demonstrate how the Mayor's Energy Hierarchy will be integrated into the development, including a full assessment of the site's energy demand and carbon dioxide emissions, measures to reduce this demand and the provision of an 18.16% reduction in the site's carbon dioxide emissions needs through on site renewable energy generation. The energy strategy should clearly define the baseline energy usage which takes account of regulated energy (in accordance with Building Regulations) and unregulated energy (energy use not covered by Building Regulations). The renewable energy figure should be based on the whole energy use. The methods identified within the approved report shall be integrated within the development and thereafter permanently retained and maintained.

**REASON**

To ensure that the development incorporates appropriate energy efficiency measures in accordance with policies 5.1, 5.3, 5.4, 5.5, 5.7, and 5.9 of the London Plan.

**22 SUS5 Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

**REASON**

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 5.13 of the London Plan and to ensure the development does not increase the risk of flooding contrary to Policy OE8 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and policy 5.12 of the London Plan.

**23 TL1 Existing Trees - Survey**

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The

plan must show:-

- (i) Existing and proposed site levels.
- (ii) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

#### REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **24 TL2 Trees to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

#### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

#### **25 TL3 Protection of trees during site clearance and development**

Prior to the commencement of any site clearance or construction work, the fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained as indicated in Arbtech Consulting Ltd's Tree Report and drawing No. TPP-01, shall be erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.

5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with Policy BE38 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **26 TL5 Landscaping Scheme - (full apps where details are reserved)**

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **27 TL6 Landscaping Scheme - implementation**

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season



with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

**REASON**

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with Policy BE38 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**28 TL7 Maintenance of Landscaped Areas**

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

**REASON**

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**29 NONSC Non Standard Condition**

All soils used for gardens and/or landscaping purposes shall be clean and free of contamination. Site derived soils and imported soils shall be tested for chemical contamination, and the results of this testing shall be submitted for approval to the Local Planning Authority.

**REASON**

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and the development can be carried out safely without unacceptable risks to workers, neighbours and other off site receptors, in accordance with Policy OE11 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**30 NONSC Non Standard Condition**

No part of the development shall be occupied until details of the method of control for the designation and allocation of parking spaces has been submitted to and approved in writing by the Local Planning Authority. Thereafter, the parking spaces shall be retained for the sole use of the individual flats in accordance with the approved details.

**REASON**

In order to ensure that sufficient parking is provided, in accordance with Policies AM14 and AM15 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**31 NONSC Non Standard Condition**

No development shall take place until details of all balconies, including obscure screening have been submitted to and approved by the Local Planning Authority. The approved screening, where necessary, shall be installed before the development is occupied and shall be permanently retained for so long as the development remains in existence.

**REASON**

To ensure that the development presents a satisfactory appearance and to safeguard the privacy of residents in accordance with Policies BE13 and BE24 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**32 NONSC Non Standard Condition**

Prior to development commencing, the applicant shall submit a refuse management plan to the Local Planning Authority for its approval. The plan shall detail how the refuse and recycling bins shall be moved to a predefined collection point and how the service road is to be kept clear of parked vehicles on collection day. The approved measures shall be implemented and maintained for so long as the development remains in existence.

**REASON**

To safeguard the amenity of surrounding areas and in the interests of highway and pedestrian safety, in accordance with Policies OE1 and AM7 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**33 NONSC Non Standard Condition**

Before development commences, plans and details of one electric vehicle charging point, serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To encourage sustainable travel and to comply with London Plan Policy 5.3.

**34 D2 Obscured Glazing**

The Oriel windows and non habitable windows in the north east and south west elevations shall be glazed with obscure glass and non-opening except at top vent level, as detailed on approved drawing nos. 6133-PL-009 Rev A, 6133-PL-011 Rev A and 6133-PL-014 for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties, in accordance with Policy BE24 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM7	Consideration of traffic generated by proposed developments.

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE26	Town centres - design, layout and landscaping of new buildings
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
OE1	Protection of the character and amenities of surrounding properties and the local area
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

### **3 16 Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

### **4 12 Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

### **5 11 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **6 111 The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

### **7 112 Notification to Building Contractors**

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

## **8 114C Compliance with Building Regulations Access to and use of**

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6 and 8.

## **9 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours

and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

#### **10            I16            Directional Signage**

You are advised that any directional signage on the highway is unlawful. Prior consent from the Council's Street Management Section is required if the developer wishes to erect directional signage on any highway under the control of the Council.

#### **11            I19            Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.  
Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

#### **12            I21            Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

#### **13            I25A            The Party Wall etc. Act 1996**

On 1 July 1997, a new act, The Party Wall etc. Act 1996, came into force.

This Act requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:-

- 1) carry out work to an existing party wall;
- 2) build on the boundary with a neighbouring property;
- 3) in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations or planning controls. Building Control will assume that an applicant has obtained any necessary agreements with the adjoining

owner, and nothing said or implied by Building Control should be taken as removing the necessity for the building owner to comply fully with the Act.

**14**      13                    **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**15**      19                    **Community Safety - Designing Out Crime**

Before the submission of reserved matters/details required by condition x you are advised to consult the Metropolitan Police's Crime Prevention Design Advisor, Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel. 01895 250538).

**16**

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hard standing shall therefore be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system.

**17**

With regard to the external materials (condition 2), you are advised that it will be important to ensure that the materials match those older buildings in the locality. The drawings are annotated as being dark red/brown tiles and these are considered appropriate. The drawings also show stock brick, which should be a deep red, rather than the yellow/buff shown in the perspectives.

**18**

In seeking to discharge condition 30 (car parking), the applicant is advised that the preferred solution is to allocate 2 parking spaces each for the 3 bedroom flats and 1 space each for the smaller units.

**19**

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0845 850 2777. With regard to water supply, this comes within the area covered by the Three Valleys Water Company.

**20**

Specific security needs identified for the application site include CCTV coverage of certain key areas within the development, namely the underground car park and the main vehicular entrance to the development. This could be a simple fixed camera system for deterrence and retrospective investigation only and not monitored system. You are

advised to submit details to expedite the specified security needs. In addition to the above, for this site to achieve 'Secured by Design' accreditation, you are advised to consult with the local Police Crime Prevention Design Adviser (CPDA). The CPDA's contact number is 0208 246 1769.

## **21**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

## **22**

Your attention is drawn to conditions 2, 4, 8, 10, 11, 14, 16, 17, 18, 20, 21, 22, 24, 26, 28, 30, 31 and 34, which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of these conditions. For further information and advice contact: Planning and Community and Environmental Services Group, Civic Centre, Uxbridge (Tel: 01895 250230).

## **23**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Acts.

## **24**

The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Council's central CCTV system.

## **25**

You are advised that the development hereby approved represents chargeable development under the Mayor's Community Infrastructure Levy. At this time the Community Infrastructure Levy is estimated to be £0.00 which is due on commencement of this development. The actual Community Infrastructure Levy will be calculated at the time your development is first permitted and a separate liability notice will be issued by the Local Planning Authority. Should you require further information please refer to the Council's Website [www.hillingdon.gov.uk/index.jsp?articleid=24738](http://www.hillingdon.gov.uk/index.jsp?articleid=24738)"

## **26**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site formally comprised the Reindeer Public House plus an ancillary six bedroom residential apartment and 20 off-street parking spaces. In addition land to the front of the former public house building was utilised for a further three car parking spaces. The building has already been demolished and the site is currently cleared and boarded.

The site has an area of approximately 0.1493 hectares and is located in Green Lane Northwood Minor Town Centre. The site is positioned between the Primary Shopping Area and a residential area to the west, outside the town centre boundary. To the north west is a small non-designated commercial business area. The site is within an aviation height restriction area.

The site falls within the Northwood Town Centre, Green Lane Conservation Area, which was designated on 2 December 2009.

#### **3.2 Proposed Scheme**

The current application seeks a minor material amendment under S73 of the Town and Country Planning Act to alter the approved scheme granted on the 13 July 2011, for the erection of a part two, part three, part four storey building comprising 12 flats, as set out below:

- Centralisation of balconies to flats 2 and 6;
- Amendments to the internal layouts of flats 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12;
- Amendments of the roof and introduction of roof terraces to flats 11 and 12;
- Provision of front door to unit 4;
- Increase in depth of northern front bay by 460mm
- Provision of doors to front gardens for Flats 4 and 5,
- Use of front bays as terraces for flats 8 and 9; and
- Amendments to fenestration on south west and north west elevation.
- Reconfiguration of windows on the south west (courtyard) elevation.

The application seeks to consolidate changes to the approved scheme, previously granted under the the non material amendment and minor material amendment procedures, together with amendments to the internal layout of the flats and minor alterations to the roof and elevational details. It should be noted that most of the amendments contained under the current application already benefit from approval under the above mentioned consents. As such, consideration is limited to the following changes:

Internal amendments:

Flat 1: Amendments to layout (primarily location of bathrooms). Introduction of utility room.

Flat 2: Minor amendments to layout. Introduction of utility room.

Flats 3-5: Minor amendments to layout.

Flat 6: Amendments to layout. Change from approved study to family room. Introduction of new study.

Flats 7-11: Minor amendments to layout.

Flat 12: Minor amendments to layout. Relocation of kitchen and bedroom 2.

South East Elevation -

- Proposed raised roof line toward 8 Maxwell Road



·Balconies and bay details

North East elevation -

- Details of oriel windows
- An additional roof light
- Rear access gates

North west elevation -

- Additional bulk at roof level
- The arch to the car park

In addition the applicants are seeking a variation of condition 7 of the consented planning approval, which explicitly requires the disabled spaces to be reserved exclusively for people using wheelchairs. We would request that the wording of this condition be amended to allow for some level of flexibility. This would allow use of the spaces to be reserved for those who are mobility impaired, in addition to those using a wheelchair. The applicants have also requested that the condition be relaxed to allow unrestricted use of the spaces, in the event that there are no disabled occupants within the development. A Parking Control Methodology, has been submitted detailing how this would be implemented.

### 3.3 Relevant Planning History

18958/APP/2008/1996 The Reindeer Ph Maxwell Road Northwood

Erection of two blocks comprising 14 flats and 468m<sup>2</sup> of commercial space with associated parking.

**Decision:** 29-10-2008 Refused **Appeal:** 08-05-2009 Dismissed

18958/APP/2009/2210 Former Reindeer Public House Maxwell Road Northwood

Erection of a part two, part three, part four storey building comprising of 1 one-bedroom flat, 4 two-bedroom flats and 7 three-bedroom flats, with associated surface and basement car parking, secured cycle parking, bin store and alterations to vehicular access.

**Decision:** 08-06-2010 Refused **Appeal:** 24-02-2011 Dismissed

18958/APP/2010/2210 Former Reindeer Public House Maxwell Road Northwood

Erection of a part two storey, part three storey, part four storey building comprising 1, one-bedroom flat, 4, two-bedroom flats and 6, three-bedroom flats, with associated car parking, secured cycle parking, bin store and alterations to vehicular access

**Decision:** 23-06-2011 Approved

18958/APP/2011/873 Former Reindeer Public House Maxwell Road Northwood

Erection of a part two, part three, part four storey building comprising 12 flats, with associated surface and basement car parking, secured cycle parking, bin store and alterations to vehicular access.

**Decision:** 11-07-2011 Approved

18958/APP/2012/1035 Former Reindeer Public House Maxwell Road Northwood

Minor Material Amendment to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof terraces to flats 11 and 12; provision of front doors for flat 4; increase in depth of bays by 460mm provision of doors to front gardens for flat 5 (south east elevation); and amendments to fenestration on south west elevation. (S73 Application for amendment to approved plans under condition 4).

**Decision:** 27-07-2012 Approved

18958/APP/2012/980 Former Reindeer Public House Maxwell Road Northwood

Non-material amendments to planning permission 18958/APP/2011/873 dated 13/07/2011 seeking amendments to balconies of flats 2 & 6, amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11; amendments of roof and introduction of roof lights to flat 12; provision of doors to front gardens for flats 4 & 5 (south east elevation); and amendments to fenestration on south west elevation.

**Decision:** 22-05-2012 Approved

#### **Comment on Relevant Planning History**

The application site has quite an extensive planning history, the most relevant of which is set out below. Of particular note is that alterations to the approved design have been approved via the Non-Material Amendment procedure under Section 96a of the Town and Country Planning Act(Ref: 18958/APP/2012/980)dated 22-05-12. This is where the applicant seeks approval for changes to a scheme not considered to be at all material. These consisted off:

- Amendments to balconies of flats 2 & 6;
- Amendments to the internal layouts of flats 2, 3, 4, 5, 6, 7, 8 & 11 (These did not alter the number of bedrooms, total floor area or any material aspect of the layout);
- Amendments of roof and introduction of roof lights to flat 12; and
- The provision of doors to front gardens for flats 4 & 5 (south east elevation); and
- Amendments to fenestration on south west elevation.

Further amendments were approved under the S73 Minor Material Amendment application (ref:18958/APP/2012/1035, dated 27-07-12, as these changes required full consultation with all neighbours. These amendments comprised the following:

- Amendments to roof and introduction of roof terraces to flats 11 and 12
- Increase in depth of bays by 460mm for flat 5.

It should be noted that many of the of the amendments contained under the current application already benefit from approval under the above mentioned consents, the main considerations in this application are limited to additional changes and variation of condition 7 (disabled parking).

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1	(2012) Built Environment
PT1.C11	(2012) Community Infrastructure Provision
PT1.E5	(2012) Town and Local Centres
PT1.EM1	(2012) Climate Change Adaptation and Mitigation
PT1.EM4	(2012) Open Space and Informal Recreation
PT1.H1	(2012) Housing Growth
PT1.H2	(2012) Affordable Housing
PT1.HE1	(2012) Heritage

Part 2 Policies:

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM7	Consideration of traffic generated by proposed developments.
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE26	Town centres - design, layout and landscaping of new buildings
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
H4	Mix of housing units
H5	Dwellings suitable for large families
OE1	Protection of the character and amenities of surrounding properties and the local area
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **26th June 2013**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

The application has been advertised as a development likely to affect the character of the Northwood Town Centre, Green Lane Conservation Area. In addition, 73 nearby owners and occupiers, including the Northwood Residents Association were consulted on the application. No comments have been received in respect of this consultation.

NORTHWOOD RESIDENTS ASSOCIATION. - No response.

### Internal Consultees

URBAN DESIGN AND CONSERVATION:

Floor Plans

- Lower ground floor- is the area allocated for bin storage part of the site? This seems to be on the shared access road, which is rather tight for space.

(This arrangement has been amended to ensure that all elements fall within the red line area and have minimal impact on the access road).

- Ground floor- there is a lack of tree planting along the front boundary, which is important in terms of the quality of the street scene and also to the rear along the side boundary with 8 Maxwell Road, where there will potentially be overlooking issues. The raised walkway along the boundary may also have an impact on the amenity of the neighbours. The front garden area also seems to be divided up with fencing, which would give the frontage a fragmented appearance, rather than reading as one garden space.

(Boundary treatment can be considered further in respect of the conditions discharge application. It is not necessary to have all elements of boundary treatment agreed in detail at this stage).

Roof- the roof form has altered and officers remain concerned re the visibility of the roof level PVs in views from the surrounding Conservation Area (CA). Ideally, the originally agreed rear chimney stack should be reintroduced and used to disguise the lift overrun.

(The chimney stack has now been reintroduced).

Elevations

- South East- the proposed raised roof line toward 8 Maxwell Road does not accord with the roof plan as shown for this part of the building. The roof should not increase in height in this location as the new building should step down in scale to the adjacent existing house. The roof would also look bulky and over large for the gable and architectural features below it.

(Any changes to the roof line are the minimum necessary and reflect the thickness of construction).

- The balconies/bays as shown are poorly detailed, with an overly solid appearance. The introduction of glazed panels, instead of a timber balustrade to the balconies, would be at odds with the Arts and Crafts (traditional) style of the building. The bays also look overlarge in comparison with the proportions of the gables above.

(The width of the balconies reflect what was approved under the previous S73 consent. In terms of materials, the applicant does not consider wood to be appropriate, but is willing to change the materials to have a metal balustrade, which is considered appropriate.

- The modern door and glazed canopy would also look incongruous - the whole balance of the elevations has changed and now has an odd mix of modern and traditional features that look mismatched.

(The canopy has been altered to reflect that previously approved.)

- The brick plinth is too high, and was better as originally agreed.

(The brick plinth has been lowered.)

- We would also still need to agree the bricks to be used and the proposed grey concrete tiles are not what we would normally expect to see in a CA. These would also not reflect the Arts and Crafts character of many of the buildings within the CA, which have red/brown plain tiles.

(These details can be agreed as part of the conditions discharge application.)

- The functional looking side gate should be in timber and either of an improved design, or located behind the main building line.

(This has been altered to reflect the above comments.)

North East elevation

- All the skylights should be kept below the ridge line if located on the crown roof.

(The plans have been amended accordingly).

- The brick plinth as previously noted appears too high.

(This has been lowered).

The two separate windows on the large gable need to be moved away from the eaves and designed to read as one element, with perhaps a recess, or dummy window, in between.

(Plans have been amended accordingly.)

- The detailing on the gable, string course and upper part of the gable, should also be retained as this would break up its bulk.

(This has been addressed in the revised plans.)

- The originally agreed traditional door canopy design should be retained for the reasons already stated.

(The plans have been amended accordingly.)

- The base of the oriel windows also look rather heavy compared with the original design and could do with a moulding/or additional detail, to create a less bulky and boxy appearance.

(This element is required as proposed to meet sustainability and structural requirements, therefore the oriel windows have not been altered.)

- The additional roof light appears overly large and the gables at roof level over the side door should be retained as dormers, as this would reduce their apparent size and overall bulk at roof level.

(This is an automatic opening vent in case of fire and is a detailed design issue and is required to meet the necessary legislation.)

- The low level vents should be painted to match the brick work and ideally designed and positioned to have a coherent appearance.

(These have been designed to meet code level requirements. The applicant does not consider appropriate or necessary to alter these, as their impact is negligible.)

- If rear access gates are required, they should be of a simple design and constructed in timber.

(The access gates as proposed are considered appropriate for the site and allow sufficient visual permeability as well as taking into account secured by design considerations. Metal gates are not considered inappropriate in this location and view of the gates will be very limited from public vantage points. The proposed gates have not therefore been altered).

North west elevation -

- there are concerns re the additional bulk at roof level.

(This has been addressed as far as possible in the revised drawings. However, some additional bulk and a change in pitch has become necessary, due to the thickness of construction required in order to meet sustainability and other construction requirements)

- No objections are raised to the change in the size and design of the large dormer and no objection in principle to the additional low level windows, but these should line up with the windows above.

(The plans have been amended accordingly.)

- The plinth remains too high on this elevation and changes its proportions from a vertical to horizontal emphasis.

(The plinth has been lowered.)

- The arch to the car park is a more traditional feature than the square opening currently proposed.

(The current design is necessary for site servicing purposes. This is a detailed design issue and there will be limited views of the entrance to the car park from public vantage points).

South East elevation

- It not clear what is happening to roof heights with this element of the scheme, but overall the proportions of the roof appear to have changed, such that it appears to have a larger crown roof and a more squat appearance, to the detriment of the appearance of the building.

(The applicant has confirmed that the roof height has not increased on this elevation. The amended plans clarify this.)

In conclusion, there appears to have been a loss in design quality across the scheme. Revisions are required to ensure that the building has a consistent design approach that is appropriate to its location within a conservation area.

(Officer Comment - Revised plans have been received which address the main areas of concern raised by the Council's Urban Design Officer.)

## ACCESS OFFICER

It would be preferable not to mark the spaces with the international wheelchair symbol. It is acceptable in a development of this size not to mark the spaces as "disabled", provided all the spaces are allocated to the individual flats. As you say, there may be no disabled people living in flats, and this would lead to confusion and misunderstanding if that happened and a non-disabled person was using a 'disabled space'.

Moreover, it's about providing sufficient space for disabled people, rather than advertising that the flat is occupied by a disabled person This helps to avoid issues of targeted crime.

The parking spaces should be allocated to the flats with appropriate 'line marking' to ensure that the spaces are of a sufficient width for wheelchair users.

### **7. MAIN PLANNING ISSUES**

#### **7.01 The principle of the development**

The principle of the development has been established under the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.02 Density of the proposed development**

The density of the development has been established under the original grant of planning permission (Ref: 18958/APP/2011/873). There are no changes proposed with respect to the number of units or habitable rooms.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The proposal would have no additional impact on archaeology over those considered under the original consent.

The proposed changes would have a minimal impact on the external appearance of the building.

The modern door and glazed canopy, sky lights, the brick plinth, side gate, detailing on the gable, string course and upper part of the gable and the fenestration on the north east and north west elevation have been modified in line with the Urban Design and Conservaton Officer's comments.

With regard to detailing on the north east elevation, the design of the the oriel windows also is required as proposed to meet sustainability and structural requirements, therefore the oriel windows have not been altered. The additional roof light is an automatic opening vent in case of fire and is a detailed design issue and is required to meet the necessary Building Control legislation. The low level vents have been designed to meet code level requirements. The applicant does not consider appropriate or necessary to alter these, as their impact is negligible.

The rear access gates as proposed has been designed to allow sufficient visual permeability as well as taking into account secured by design considerations. Any views of the gates will be very limited from public vantage points. In the circumstances, metal gates are considered appropriate in this location.

In terms of changes to the roof, the chimney stack has now been reintroduced to disguise the lift overrun. The proposed PVs will be laid flush with the roof and any visual impacts will therefore be negligible. The need for on-site renewable energy provision needs to be balanced against the need to protect the character of the conservation area.

The applicants have submitted that some additional bulk and a change in pitch has

become necessary, on the north west and south east elevations, to take into account the thickness of construction required in order to meet sustainability and other construction requirements. The amended plans confirm that the roof form has not altered or increased to any significant degree.

With regard to the treatment of the front garden, the arch to the car park and boundary fencing details, these issues can be considered further as part of the conditions discharge application. It is not considered necessary to have all elements of the elevational and boundary treatment agreed in detail at this stage.

The Council's Urban Design and Conservation Officer initially raised a number of concerns (listed in the consultation section of this report), regarding some of the changes to the approved schemes. Amended plans have been submitted largely addressing the main issues raised by the Conservation Officer.

It is considered that the proposed amendments would not have any material adverse impacts on the character of the Northwood Town Centre, Green Lane Conservation Area, or the setting of the nearby Northwood Police Station which is Grade II listed. The scheme is therefore considered to comply with the aims of Saved Policies BE4 and BE10 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) in this respect.

#### **7.04 Airport safeguarding**

The proposal would not have any additional impact on airport safeguarding over that considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.05 Impact on the green belt**

The application is not located within or in proximity to the Metropolitan Green Belt.

#### **7.06 Environmental Impact**

The proposal would not have any environmental impacts over those considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.07 Impact on the character & appearance of the area**

Policies BE13 and BE19 of the UDP attempt to ensure that new development makes a positive contribution to the character and amenity of the area in which it is proposed. Policy BE13 states that, in terms of the built environment, the design of new buildings should complement or improve the character and appearance of the surrounding area and should incorporate design elements which stimulate and sustain visual interest. Policy BE38 of the UDP requires new development proposals to incorporate appropriate landscaping proposals. More specifically, in respect of town centres, Policy BE26 seeks to ensure that the design, layout and landscaping of new buildings reflects their role, overall scale and character as a focus of shopping and employment activity.

The proposed changes would have a minimal impact on the external appearance of the building. Overall, it is considered that the scheme will introduce a built form that is appropriate to its Conservation Area context and will improve the townscape character of the area, with a satisfactory built form, in compliance with Policies BE13 and BE19 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

#### **7.08 Impact on neighbours**

The proposed terraces serving units 11 and 12 would both benefit from full height privacy screens as shown on the approved plans, as such the proposals would not result in any loss of privacy to neighbouring properties and the scheme would accord with Policy BE24 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) in this respect.

The proposed changes would not result in any other impacts on the amenity of



neighbouring occupiers.

#### **7.09 Living conditions for future occupiers**

Policy BE24 of the the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) requires that new development benefit from adequate levels of privacy.

The proposed terraces serving units 11 and 12 would both benefit from full height privacy screens as shown on the approved plans, as such the proposals would not result in any loss of privacy to other units within the development.

In terms of the proposal to extend the bay serving unit 5 and introduce doors, the submitted drawings demonstrate that there is adequate scope for the realignment of the footpath in this location which would increase the separation of the footpath from the bay. The detailed location of the footpath and soft landscaping in this area could be secured under the landscaping condition. Accordingly, it is not considered that the amendment would have any significant adverse impact on the privacy of this future occupier.

In terms of overall amenity provision for the future occupiers, the units within the proposed development would maintain compliance with the Council's internal floorspace standard, however the proposal would increase the level of external amenity space available for units 11 and 12.

Overall, it is considered that the development as proposed would maintain an appropriate environment for future occupiers.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposal would not alter any of the arrangement in respect of the number of parking spaces, cycle parking, or vehicular access which were previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873). Of the 12 units, 2 (17%) are wheelchair accessible flats and all the units will comply with the Lifetime Homes Standards. Secure parking is provided at a ratio of 1:1, which meets the car parking standards, with one additional visitor space provided. 11 spaces are located on the lower-ground floor (basement) with 2 additional spaces located to the front of the site; both with dimensions of 4.8m x 3.6m, to allow for wheelchair transfer.

However, the application seeks a variation of condition 7 of the consented planning approval, which explicitly requires the disabled spaces to be reserved exclusively for people using wheelchairs.

The applicants request that the wording of this condition be amended to allow for some level of flexibility. This would allow use of the spaces to be reserved for those who are mobility impaired, as well as for those using a wheelchair. Officers concede that the condition as worded is unduely onerous in this regard, as not all mobility impaired people use wheelchairs.

The applicants have also requested that the condition be relaxed to allow general use of the disables paring spaces, in the event that there are no disabled occupants within the development. At least one car park space will be allocated to each flat. However, if there are no disabled residents in the block, the designated disabled spaces could be allocated to other residents. A Parking Control Methodology has been submitted detailing how this would be implemented.

The revised wording of condition 7 would be as follows:

Two parking spaces (with dimensions of 4.8m x 3.6m clearly line marked horizontally), to allow for wheelchair transfer to and from the side of car shall be reserved exclusively for people who are mobility impaired and/or using a wheelchair, unless there are no disabled occupants within the development, in accordance with the approved Parking Control Methodology, and unless otherwise agreed in writing by the Local Planning Authority. Such parking spaces shall be sited in close proximity to the nearest accessible building entrance with dropped kerbs provided from the car park to the pedestrian area. These parking spaces shall be provided prior to the occupation of the development. Thereafter, these facilities shall be permanently retained unless otherwise agreed in writing by the Local Planning Authority.

The Access Officer comments that it would be preferable in any event, not to mark the spaces with the international wheelchair symbol. It is acceptable in a development of this size not to mark the spaces as "disabled", provided all the spaces are allocated to the individual flats. Given that there may be no disabled people living in flats, and this would lead to confusion and misunderstanding, if a non-disabled person was using a 'disabled space'.

The Access Officer also points out that the crucial requirement is to ensure that sufficient space is provided for disabled people, rather than advertising that the flat is occupied by a disabled person. This helps to avoid issues of targeted crime. The Access Officer therefore raises no objections to the revised wording of condition 7, provided the parking spaces are specifically allocated to the flats, with appropriate 'line marking', to ensure that the spaces are of a sufficient width for wheelchair users, as and when required. These requirements, including details of the method of control for the designation and allocation of parking spaces are secured by condition.

Subject to these safeguards, no objections are raised to the revised wording of condition 7 of the consented planning approval.

#### **7.11 Urban design, access and security**

Issues of design and access have been discussed elsewhere in the relevant sections of this report.

In respect of security, it is not considered that the proposal would have any significant adverse impacts in terms of security. A condition would ensure that the scheme needed to comply with Secured by Design Standards.

#### **7.12 Disabled access**

The proposals would not alter the level of accessibility achieved within the development from that previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873). The scheme would retain appropriate internal layouts to comply with Lifetime Homes Standards and an appropriate number of disabled units would be provided.

#### **7.13 Provision of affordable & special needs housing**

The original grant of planning permission (Ref: 18958/APP/2011/873) did not secure any affordable housing, as it was demonstrated that this was not viable. The proposed amendments would not increase the viability of the development and accordingly the scheme would still provide no affordable housing.

#### **7.14 Trees, Landscaping and Ecology**

The proposal would not significantly alter the development in terms of landscaping, trees and ecology from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873). It is noted that that detailed landscaping and tree

protection conditions are attached to the recommendation which would enable the final detailed layout of the frontage to be approved.

#### **7.15 Sustainable waste management**

The proposal would not alter the development in terms of waste management or storage from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.16 Renewable energy / Sustainability**

The proposal would not alter the development in terms of renewable energy/sustainability from the scheme previously agreed within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.17 Flooding or Drainage Issues**

There are no specific flooding or drainage issues associated with this application, and the proposal would not alter the development in terms of drainage or flood risk.

#### **7.18 Noise or Air Quality Issues**

The proposal would result in no additional impacts on noise or air quality over those considered within the original grant of planning permission (Ref: 18958/APP/2011/873).

#### **7.19 Comments on Public Consultations**

No comments were received as a result of the public consultation.

#### **7.20 Planning Obligations**

The original Grant of planning permission secured the following planning obligations by way of a legal agreement:

1. Education: A financial contribution for nursery and primary school places in the sum of £28,287.
2. Health: The Primary Care Trust have sought a contribution towards local primary health care facilities in the sum of £4,554.40.
4. Community facilities: A contribution in the sum of £10,000 towards expansion of local community facilities has been agreed.
5. Libraries: A contribution in the sum of £483 towards library books has been agreed.
6. Open space: a contribution in the sum of £28,000 has been agreed towards local open space and recreation improvements (this is in line with the previous application).
7. Construction Training: A contribution of £ 5,000 towards the cost of providing construction skills training within the Borough has been agreed.
8. Project Management and Monitoring: A contribution towards project management and monitoring has been agreed, equal to 5% of the total cash contributions secured from this proposal.

It was also required that the developer enter into a S278 Agreement, to enable the delivery of off site highways works, including the formation of a new access off Maxwell Road which would affect on street parking bays.

Subject to a legal agreement to ensure that these matters are delivered in relation to this application, the proposal would adequately mitigate the impacts of the development and would accord with Policy R17 of the Saved Policies UDP and the Planning Obligations SPD.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues associated with this site.

#### **7.22 Other Issues**

There are no other issues relating to this application.

## **8. Observations of the Borough Solicitor**

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

## **9. Observations of the Director of Finance**

Not applicable to this application.

## **10. CONCLUSION**

The application seeks minor material amendments to the planning permission which was granted on the 13 July 2011.

The amendments would not result in any adverse impacts on the amenity of neighbouring or future occupiers of the development. Further the development would maintain compliance with all other policies as secured under the original permission.

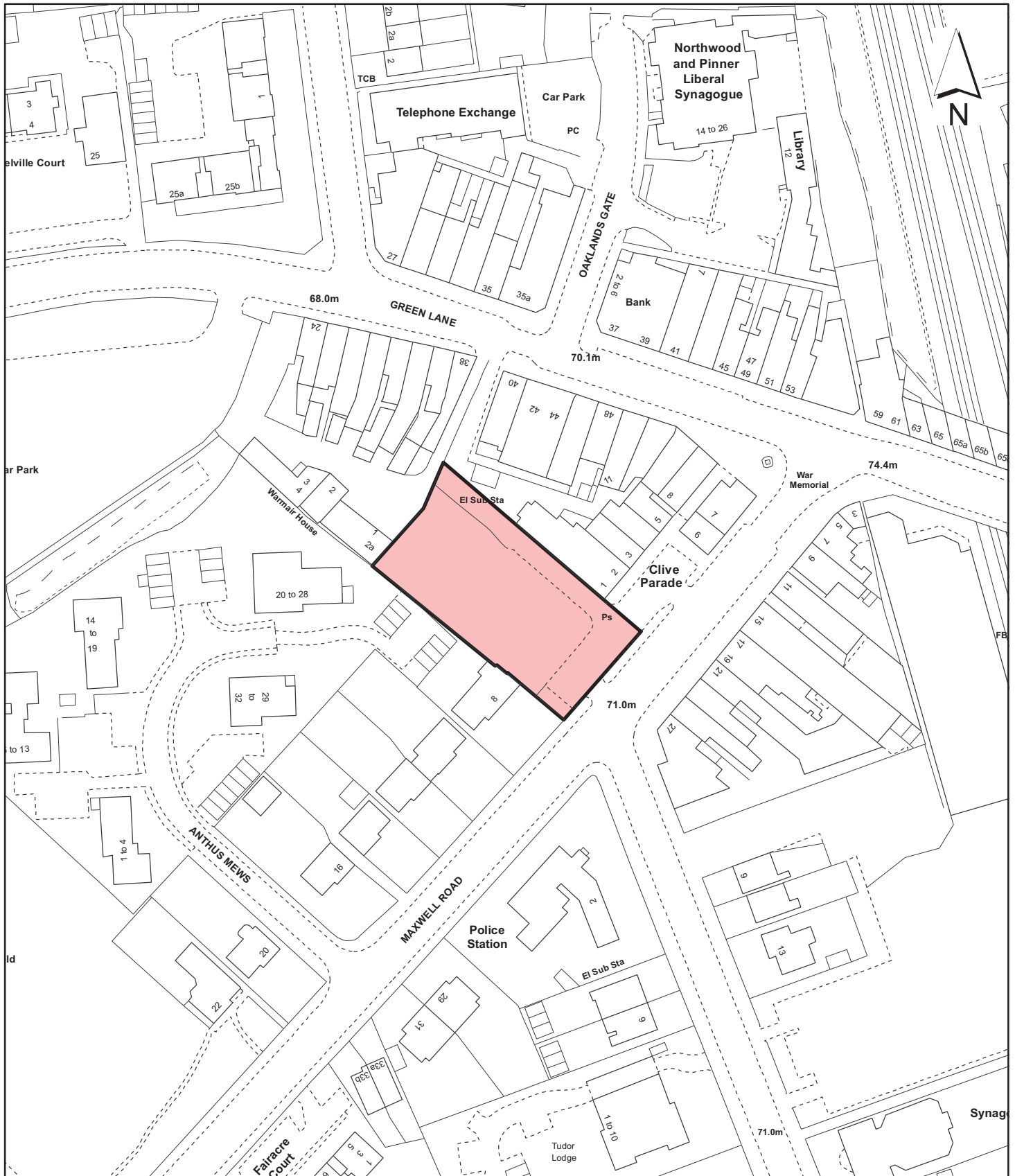
Subject to appropriate conditions and a legal agreement the application is recommended for approval.

## **11. Reference Documents**

National Planning Policy Framework (NPPF)  
The London Plan

**Contact Officer:** Karl Dafe

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.  
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Site Address

**Former Reindeer Public House  
 Maxwell Road  
 Northwood**

Planning Application Ref:  
**18958/APP/2013/694**

Planning Committee  
**Major Applications**

Scale  
**1:1,250**

Date  
**May 2013**

**LONDON BOROUGH  
 OF HILLINGDON  
 Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111



**HILLINGDON**  
 LONDON

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## Report of the Head of Planning, Sport and Green Spaces

- Address** HERMITAGE SCHOOL NURSERY & LANCASTER CENTRE SITE  
LANCASTER ROAD UXBRIDGE
- Development:** Application to vary condition 2 (to allow for amendments to the stair cores on the rear elevation) of planning permission ref:68164/APP/2011/2711 dated 28/11/2012 for Alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nursery Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total).
- LBH Ref Nos:** 68164/APP/2013/758
- Drawing Nos:** A010213/DP1 C  
A010213/DP2 B  
A010213/DP3 A  
A010213/DP4 A  
A010213/DP8  
Design & Access Statement  
2011/D88/P/01  
2011/D88/P/02A  
2011/D88/P/03  
2011/D88/P/04  
2011/D88/P/05  
2011/D88/P/14

**Date Plans Received:** 27/03/2013                      **Date(s) of Amendment(s):**

**Date Application Valid:** 27/03/2013

### 1. **SUMMARY**

The application seeks planning permission to vary planning permission ref: 68164/APP/2011/2711 dated 28/11/2012.

The amended scheme is to redevelop the Lancaster Centre & Hermitage Nursery site for residential purposes, in the form of a new two storey building fronting the site and the conversion of the Lancaster Centre comprising a total of 2 x studio flats; 7 x 1 bedroom and 10 x 2 bedroom units. In total, 19 units are proposed.

The proposed scheme is considered to be of an acceptable design which would be compatible within the local context and result in an adequate standard of amenity for future occupiers.

The proposal would not detrimentally impact on the residential amenity of neighbouring occupiers and would provide an acceptable area of soft landscaped amenity space for the benefit of future occupiers.

Accordingly, the application is recommended for approval, subject to conditions and the signing of a S106 Legal Agreement.

### 2. **RECOMMENDATION**

1. That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/ or other appropriate legislation to secure:

a. Mayoral CIL: a contribution of £25,499

b. Affordable Housing: either 4 x 1bed units on site or a payment in lieu of on site delivery in the sum of £378,000.

c. Education: a contribution in the sum of £37,604.

d. Health: a contribution in the sum of £6,972.44.

e. Libraries Contribution: Libraries: a contribution in the sum of £740.14.

f. Construction Training: a contribution in the sum of £3,062.41.

g. Project Management and Monitoring: a contribution of 5% of the total cash contributions secured from this proposal.

h. Car Parking Permits: No permits shall be issued to future occupants of the flats.

i. The access road to the development is to be upgraded to adoptable standards and offered to the Council for adoption under S38 of the Highways Act 1980.

2. That the applicant meets the Council's reasonable costs in the preparation of the Statement and any abortive work as a result of the agreement not being completed.

3. That the officers be authorised to negotiate the terms of the proposed Statement.

4. That if any of the heads of terms set out above have not been agreed and the S106 legal agreement has not been finalised before 25th June 2013, or any other period deemed appropriate by the Head of Planning, Sport and Green Spaces, then delegated authority be granted to the Head of Planning, Sport and Green Spaces to refuse the application for the following reason:

The applicant has failed to provide contributions towards the improvement of services and facilities as a consequence of demands created by the proposed development (in respect of affordable housing, education, health, community facilities and libraries, construction and employment training facilities, monitoring, Highway works and parking permit restrictions). The proposal therefore conflicts with Policy R17 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

5. That subject to the above, the application be deferred for determination by the Head of Planning, Consumer Protection, Sport and Green Spaces under delegated powers.

6. That if the application is approved, the following conditions be attached:



**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers

A010213/DP1 C  
A010213/DP2 B  
A010213/DP3 A  
A010213/DP4 A  
A010213/DP8  
2011/D88/P/01  
2011/D88/P/02A  
2011/D88/P/03  
2011/D88/P/04  
2011/D88/P/05  
2011/D88/P/14

and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012) and the London Plan (July 2011).

**3 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 of Hillingdon Local Plan: Part Two saved UDP Policies (November 2012) and London Plan (July 2011) Policy 5.12.

**4 RES16 Code for Sustainable Homes**

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

REASON

To ensure that the objectives of sustainable development identified in London Plan (July 2011) Policies 5.1 and 5.3.

**5 RES18 Lifetime Homes/Wheelchair Units**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed and constructed to be fully wheelchair accessible or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8 and 7.2.

**6 RES23 Visibility Splays - Pedestrian**

The access for the proposed car parking shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

REASON

In the interests of highway and pedestrian safety in accordance with policy AM7 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**7 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2011) Policies 7.1 and 7.3.

**8 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

**REASON**

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**9 RES9 Landscaping (including refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.b Cycle Storage for 20 bicycles (inc. security measures)
  - 2.c Means of enclosure/measures to create defensive space/boundary treatments (inc. elevations if appropriate)
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
4. Details of Landscape Maintenance
  - 4.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 4.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
5. Schedule for Implementation, which shall ensure amenity space is provided prior to occupation of any dwelling.
  
6. Other
  - 6.a Existing and proposed functional services above and below ground
  - 6.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

**REASON**

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London

Plan.

**10 RES5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

- i) Obscure Glazing and materials as shown on plan no.: 2011/d88/p/11 rev b and 2011/d88/p/12 rev b
- ii) Car parking allocation (numbered spaces being allocated to the corresponding unit number) as shown on plan no.: 2011/d88/p/07 rev b.

Thereafter the development shall be retained/maintained and parking spaces shall be for the sole use of the occupiers of the dwelling to which they are allocated in accordance with these plans and details for as long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties, to ensure adequate provision of car parking for future residents and to ensure the appearance of the scheme is adequate in accordance with policies AM14, AM16, BE13 and BE24 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**11 RES13 Obscure Glazing**

The window in flat 20 (shown on plan 2011/d88/p/08 rev b) in the lounge room, facing northwest shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**12 RES8 Communal Amenity Space**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.
2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;
- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and.

2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

**REASON**

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**13 NONSC Storage and Collection of Refuse**

All soils used for gardens and/or landscaping purposes shall be clean and free of contamination.

**REASON**

To ensure that the occupants of the development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**14 OM19 Sewerage Connections, Water Pollution etc.**

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (ii) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (iii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

**REASON**

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan: Part Two saved UDP Policies (November 2012).

**INFORMATIVES**

**1 I52 Trees in a Conservation Area**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Keeping Highways and Pavements free from mud etc**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national

guidance.

AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities

### **3            115            Secured by Design**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**4**            **I21**                    **Notification of Commencement of Works**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

**5**            **I3**                            **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**6**            **I14**                        **Installation of Plant and Machinery**

The Council's Commercial Premises Section and Building Control Services should be consulted regarding any of the following:-

The installation of a boiler with a rating of 55,000 - 1¼ million Btu/hr and/or the construction of a chimney serving a furnace with a minimum rating of 1¼ million Btu/hr;

The siting of any external machinery (eg air conditioning);

The installation of additional plant/machinery or replacement of existing machinery.

Contact:- Commercial Premises Section, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190). Building Control Services, 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**7**            **I17**                        **Communal Amenity Space**

Where it is possible to convey communal areas of landscaping to individual householders, the applicant is requested to conclude a clause in the contract of the sale of the properties reminding owners of their responsibilities to maintain landscaped areas in their ownership and drawing to their attention the fact that a condition has been imposed to this effect in this planning permission.

**8**            **I18**                        **Storage and Collection of Refuse**

The Council's Waste Service should be consulted about refuse storage and collection arrangements. Details of proposals should be included on submitted plans.

For further information and advice, contact - the Waste Service Manager, Central Depot - Block A, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB8 3EU (Tel. 01895 277505 / 506).

**9**            **I19**                        **Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.

Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**10**      I32                    **Trees in a Conservation Area**

As the application site is within a conservation area, not less than 6 weeks notice must be given to the Local Planning Authority of any intention to cut down, top, lop or uproot or otherwise damage or destroy any trees on the application site. Please contact the Trees & Landscape Officer, Planning & Community Services, 3N/02, Civic Centre, Uxbridge, UB8 1UW for further advice.

**11**      I43                    **Keeping Highways and Pavements free from mud etc**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.

**12**      I49                    **Secured by Design**

The Council has identified the specific security need(s) of the application site to be: (State specific security need(s)).

You are advised to submit details to overcome the specified security need(s) in order to comply with condition X of this planning permission.

(Please Note: This Informative must accompany Condition OM14).

**13**      I51                    **Notification of Commencement of Works**

Written notification of the intended start of works shall be sent to Planning & Community Services, London Borough of Hillingdon, Civic Centre, High Street, Uxbridge, UB8 1UW at least seven days before the works hereby approved are commenced.

**14**

You are advised of the need to ensure that any waste arising from demolition or construction works on site is managed in accordance with Waste (England and Wales) Regulations 2011.

**15**

You are advised of the need to use high quality materials in the construction of the development given its location within an Area of Special Local Character.

**3. CONSIDERATIONS**

**3.1 Site and Locality**

The application site is located on the east side of Lancaster Road within close proximity of Uxbridge Town Centre. The site consists of the single storey Hermitage Nursery building fronting Lancaster Road and the two storey Lancaster Centre, which has been disused since 19/08/2010, to the rear.

The site is bound to the north by residential dwellings on Wilmar Close as well as houses fronting Lancaster Road. To the west of the site is a small terrace of residential dwellings known as Orchard Parade. The properties do not front a street, instead fronting a pathway between the terrace and buildings front Belmont Road. The site is bound to the south by a terrace with ground floor commercial units that front Belmont Road with residential units at first floor level.



The site is located within the North Uxbridge Area of Special Local Character. The area is predominantly residential in character with residential properties to the north and west. The site is within the developed area as identified in the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

### **3.2 Proposed Scheme**

The application is to vary condition 2 (to allow for amendments to the stair cores on the rear elevation and to change the unit mix to 10 x 2 bed flats and 2 x studio and 7 x 1 bed flats) of planning permission ref:68164/APP/2011/2711 dated 28/11/2012 for Alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nursery Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total).

### **3.3 Relevant Planning History**

#### **Comment on Relevant Planning History**

68164/APP/2011/2711 - planning permission dated 28/11/2012 for alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nursery Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total)

## **4. Planning Policies and Standards**

### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards. Replaced by PT1.BE1 (2012)

Part 2 Policies:

- AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -  
(i) Dial-a-ride and mobility bus services  
(ii) Shopmobility schemes  
(iii) Convenient parking spaces  
(iv) Design of road, footway, parking and pedestrian and street furniture schemes
- AM14 New development and car parking standards.
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.

BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **2nd May 2013**

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

Neighbouring occupiers were consulted and site notice displayed. One letter of objection has been received. Objections were raised on the following grounds:

1. Impact on the character of the area.
2. Parking

It should be noted that both these issues were addressed in the assessment of the original planning permission ref: 68164/APP/2011/2711. The design of the building is very similar to that previously approved and the amendments to the scheme do not result in an increased car parking requirement.

### Internal Consultees

S106 Officer

Further Revised Proposal:

Market units:

2 x studio flats @ 2 habitable rooms in each - therefore not counted for education purposes but they do yield a slightly higher population than the 1 bed flats for all other obligations.

3 x 1 bed flats @ 3 habitable rooms in each

10 x 2 bed flats @ 4 habitable rooms in each

Affordable units:

4 x 1 bed units @ 3 habitable rooms in each

Revised Total Population: 32.18

Heads of Terms:

1. Affordable Housing: I have assumed that they are still providing the 4 x 1 bed affordable housing units or a financial contribution in the sum of £378,000 as per the s106 agreement dated 22 March 2013.

2. Construction Training: to remain as per the s106 dated 22 March 2013.

3. Restriction on Parking Permits: to remain as per the s106 dated 22 March 2013.

4. Project Management and Monitoring Sum: to remain as per the s106 dated 22 March 2013 (5% of total cash contributions).

5. Education: a revised obligation in the sum of £37,604. I shall forward the education calculation sheet for uploading onto the planning database.

6. Health: a revised obligation in the sum of £6,972.44.

7. Libraries: a revised obligation in the sum of £740.14.

## DESIGN & CONSERVATION

No objection

### 7. MAIN PLANNING ISSUES

#### 7.01 The principle of the development

The principle of development was established in assessing the original planning permission ref: 68164/APP/2011/2711.

#### 7.02 Density of the proposed development

London Plan Policy 3.4 seeks to maximise the potential of sites, compatible with local context and design principles in Policy 7.1 (Design principles for a compact city) and with public transport capacity. Boroughs are encouraged to adopt the residential density ranges set out in the Density matrix (habitable rooms and dwellings per hectare) and which are compatible with sustainable residential quality.

The proposed scheme would have a density of 95 units per hectare or 240 habitable rooms per hectare. This is within the upper end of the London Plan density range (70-130 units per hectare or 250-350 habitable rooms per hectare) based on the site's Public Transport Accessibility Level (PTAL) score of 5. Accordingly, no objection is raised to the proposed density in this instance.

#### 7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The application site is located within the North Uxbridge Area of Special Local Character. The Council's Design & Conservation officer has raised no objection to the scale or design of the proposed development. As such it is considered that any impact on the character and appearance of the ASLC will be minimal. No objection is raised to the appearance of the proposed development.

The scheme is, on balance, considered to sit well within its context, its visual amenities and is considered in keeping with the scale and height of the residential properties which characterise this part of Uxbridge and thereby accords with Policy. It is considered that the design of the proposed development is in keeping with the existing character of the area and would safeguard its visual amenity in line with policies BE13 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

#### 7.04 Airport safeguarding

There are no aircraft safeguarding issues resulting from the proposed development.

#### 7.05 Impact on the green belt

The application site is not located in proximity to the Metropolitan Green Belt.

#### 7.07 Impact on the character & appearance of the area

The development is largely the same as that approved under permission ref: 68164/APP/2011/2711. The only changes proposed are to remove a bulky stair core at the rear of the new building (it has been provided internally), some minor changes to fenestration and the addition of 2 small dormer windows (with obscure glazing) on the rear of the building.

The proposed changes are considered to be in keeping with the existing character of the area and would safeguard its visual amenity in line with policies BE5, BE13 and BE19 of the Local Plan Part 2.

#### **7.08 Impact on neighbours**

The proposed changes to the development are not considered to have any impact on adjoining occupiers over and above that considered acceptable under planning permission ref: 68164/APP/2011/2711.

#### **7.09 Living conditions for future occupiers**

##### Unit Size

The London Plan (July 2011) states that a 1 bedroom 2 person flat and a 2 bedroom 3 person flat should have minimum floor areas of 50sq metres and 61sq metres respectively. The proposal is for 2 x studio, 7 x 1 bedroom flats and 10 x 2 bedroom flats. Each studio has a floor area of 1 bedroom unit has a floor area of between 52.9sq metres and 73.8sq metres with the 2 bedroom unit having a floor area of 61sq metres which accords with the London Plan (July 2011) minimum standard and is as such considered acceptable.

The proposed habitable rooms would all have an adequate outlook and natural lighting, in accordance with policy BE20 of the saved UDP and 5.3 of the London Plan (2011).

##### Amenity Space

The minimum requirement for private amenity space, as set out in the SPD, is 20sq metres for a studio or a 1 bedroom flat and 25sq metres for a 2 bedroom flat of shared amenity space per flat. Therefore the proposed development for 2 studio, 7 one bedroom and 10 two bedroom would require 430sq metres of amenity space. The proposal provides approximately 442 sq metres of amenity space in a number of forms designed specifically to benefit future residents. The amenity space includes the defensive landscaped areas. This is considered acceptable.

##### Overlooking/Privacy

The proposed amendments to planning permission ref: 68164/APP/2011/2711 would not have detrimental impact on adjoining neighbours. The proposed dormer windows have obscure glazing so would not cause any overlooking and other changes to fenestration do not result in overlooking as they are on the ground floor.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

The approved scheme ref: 68164/APP/2011/2711 made provision for 18 car parking spaces for the 19 flats (18 x 1 bed and 1 x 2 bed units). The current scheme proposes to change the unit mix to 2 x studio, 7 x one bedroom and 10 x two bedroom units. This proposed change has no effect required parking provision for the development which remains at 18 car parking spaces for 19 units. This is the same ratio as with the approved scheme.

#### **7.11 Urban design, access and security**

Urban Design matters are discussed under paragraph 7.07 of this report.

Security Issues have been incorporated into the design of the development and will be secured by a recommended condition.

The proposed layout and access are considered acceptable.

#### **7.12 Disabled access**

Policy 3.8 of the London Plan and guidance within the HDAS - Accessible Hillingdon

requires new residential developments to achieve Lifetime Homes Standards and for 10% of the units to be easily adaptable for wheelchair users. The proposal would meet this requirement and an appropriate condition is recommended.

#### **7.13 Provision of affordable & special needs housing**

Affordable housing provision remains as per the approved scheme ref: 68164/APP/2011/2711.

#### **7.14 Trees, landscaping and Ecology**

No changes are proposed in respect of landscaping from the planning permission ref: 68164/APP/2011/2711.

#### **7.15 Sustainable waste management**

No changes are proposed in this respect from the planning permission ref: 68164/APP/2011/2711.

#### **7.16 Renewable energy / Sustainability**

No changes are proposed in this respect from the planning permission ref: 68164/APP/2011/2711.

#### **7.17 Flooding or Drainage Issues**

No changes are proposed in this respect from the planning permission ref: 68164/APP/2011/2711.

#### **7.18 Noise or Air Quality Issues**

No changes are proposed in this respect from the planning permission ref: 68164/APP/2011/2711.

#### **7.19 Comments on Public Consultations**

None.

#### **7.20 Planning obligations**

Policy R17 of the Council's Unitary Development Plan states that: The Local Planning Authority will, where appropriate, seek to supplement the provision of recreation open space, facilities to support arts, cultural and entertainment activities, and other community, social and education facilities through planning obligations in conjunction with other development proposals. The following planning obligations are sought to mitigate the impact of the development.

1. Affordable Housing: Either on site provision of 4 x 1 bed affordable housing units or a financial contribution in the sum of £378,000 as per the s106 agreement dated 22 March 2013.
2. Construction Training: to remain as per the s106 dated 22 March 2013.
3. Restriction on Parking Permits: to remain as per the s106 dated 22 March 2013.
4. Project Management and Monitoring Sum: to remain as per the s106 dated 22 March 2013 (5% of total cash contributions).
5. Education: a revised obligation to the sum of £37,604. I shall forward the education calculation sheet for uploading onto the planning database.
6. Health: a revised obligation to the sum of £6,972.44.
7. Libraries: a revised obligation to the sum of £740.14.

#### **7.21 Expediency of enforcement action**

None.

#### **7.22 Other Issues**

None.

#### **8. Observations of the Borough Solicitor**

**9. Observations of the Director of Finance**

**10. CONCLUSION**

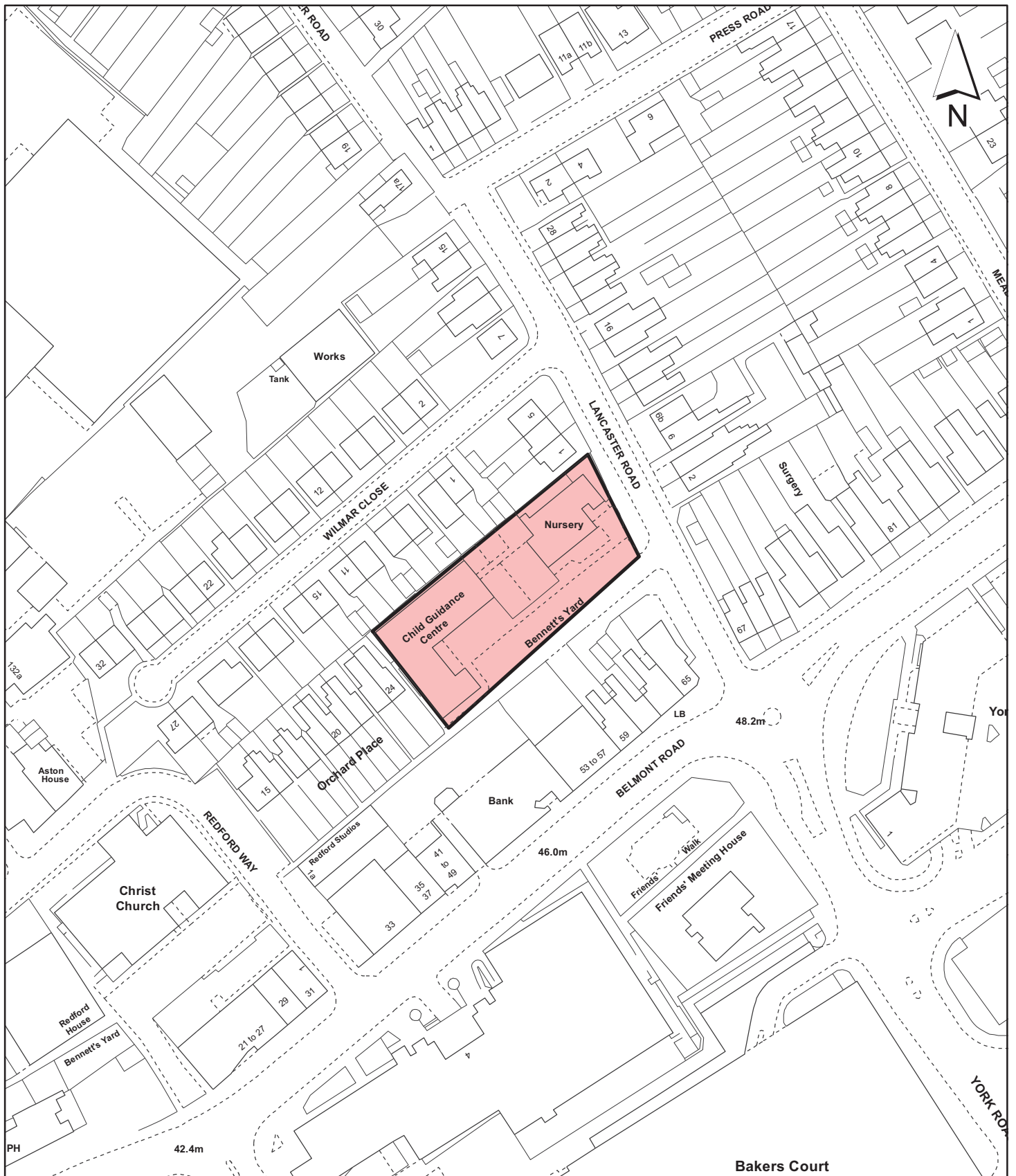
For the reasons provided throughout this report, the application is considered to be appropriate and acceptable and to comply with the relevant policies and planning guidance for the site. Therefore, the application is recommended for approval.

**11. Reference Documents**


London Plan (July 2011)  
Local Plan Part 2  
National Planning Policy Framework

**Contact Officer:** Matt Kolaszewski

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.

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Site Address	
<b>Hermitage School Nursery and Lancaster Centre Site Lancaster Road, Uxbridge</b>	
Planning Application Ref:	Scale
<b>68164/APP/2013/758</b>	<b>1:1,250</b>
Planning Committee	Date
<b>Major Applications</b>	<b>May 2013</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

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## Report of the Head of Planning, Sport and Green Spaces

<b>Address</b>	FORMER RAF UXBRIDGE HILLINGDON ROAD UXBRIDGE
<b>Development:</b>	Reserved matters (appearance, landscaping, layout and scale) in compliance with conditions 2 and 3 for Infrastructure Phase, comprising detailed design of the new ' Spine Road' of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).
<b>LBH Ref Nos:</b>	585/APP/2013/759
<b>Drawing Nos:</b>	5105977/UXB/SR/1301 Rev A01 - Spine Road Street Lighting Layout Sheet 1 of 2 5105977/UXB/SR/0115 Rev A06 - Spine Road Swept Path Analysis Sheet 5 of 10 5105977/UXB/SR/0142 - Spine Road Long Sections Sheet 1 of 2 2152-SP-PP-01 - Spine Road Swale Planting Plan 2152-SP-LA02 Rev G - Spine Road Surface Treatments 5105977/UXB/SR/0116 Rev A06 - Spine Road Swept Path Analysis Sheet 6 of 10 5105977/UXB/SR/0117 Rev A06 - Spine Road Swept Path Analysis Sheet 7 of 10 5105977/UXB/SR/0143 - Spine Road Long Sections Sheet 2 of 2 5105977/UXB/SR/0118 Rev A06 - Spine Road Swept Path Analysis Sheet 8 of 10 5105977/UXB/SR/0119 Rev A03 - Spine Road Swept Path Analysis Sheet 9 of 10 5105977/UXB/SR/0120 Rev A02 - Spine Road Swept Path Analysis Sheet 10 of 10 5105977/UXB/SR/0122 Rev A05 - Alignments and Contours Sheet 1 of 5 5105977/UXB/SA/0120 Rev A03 - Southern Access Swept Path Analysis 5105977/UXB/SR/0125 Rev A03 - Alignments and Contours Sheet 4 of 5 5105977/UXB/SR/0126 Rev A04- Alignments and Contours Sheet 5 of 5 5105977/UXB/SR/0124 Rev A02 - Alignments and Contours Sheet 3 of 5 5105977/UXB/SR/0121 - Site Location Plan 5105977/UXB/SR/0102 Rev A11 - Spine Road General Arrangement Sheet 1 of 2 5105977/UXB/SR/0103 Rev A11 - Spine Road General Arrangement Sheet 2 of 2 5105977/UXB/SR/1302 Rev A03 - Spine Road Street Lighting Layout Sheet 2 of 2 2152-SP-LA03 Rev H - Spine Road Surface Treatments 5105977/UXB/SR/0111 Rev A05 - Spine Road Swept Path Analysis Sheet 1 of 10 5105977/UXB/SR/0112 Rev A05 - Spine Road Swept Path Analysis Sheet 2 of 10 5105977/UXB/SR/0113 Rev A05 - Spine Road Swept Path Analysis Sheet 3 of 10 5105977/UXB/SR/0114 Rev A05 - Spine Road Swept Path Analysis Sheet 4 of 10 5105977/UXB/SR/0141 Rev A02 - Spine Road Typical Cross Section

**Date Plans Received:** 27/03/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 27/03/2013

## 1. **SUMMARY**

The application seeks to discharge the reserved matters relating to Layout, Scale, Appearance and Landscaping for the creation of the main Spine Road through the St Andrews Park Development (former RAF Uxbridge) as part of the infrastructure phase of the development.

The application site forms part of St Andrews Park Development, for which outline consent was granted under application reference 585/APP/2009/2752 for a residential led, mixed-use development. Access was the only matter approved as part of this application and the access included the creation of a main Spine Road, which provides access from the Chippendale Way Roundabout to the northwest of the site to the junction between Hillingdon Road and the Greenway to the south. In addition, a new signalised junction (known as the central access) will be provided off Hillingdon Road into the site between phases 3 and 4 of the development.

This application is for the southern section of the spine road, which proposes to connect from the northern boundary of Hillingdon Road / Greenway Junction improvements (the reserved matters for this junction itself has already been approved under application reference 585/APP/2012/1976) to the boundary of the new central access into the site. The application site does not include the section of spine road running through the town centre extension (Phases 4 & 7), as this will be designed alongside the reserved matters applications for these phases.

The design of the spine road consists of a main vehicular carriageway measuring 6.1 metres in width with a pedestrian pavement on either side. The outline consent approved the creation of a drainage swale running along the western side of the spine road in front of the three storey town houses. A pavement is proposed between the front of these dwellings and the swale, although this third pavement does not form part of the current application and was approved under application reference 585/APP/2013/722.

The spine road and swale have been designed in accordance with the parameter plans and design code approved at outline stage. The proposed layout has been reviewed by the Highways Officer who has raised no objection to the proposal in terms of highway and pedestrian safety. The proposed swale would offer an acceptable SUDS design which would meet the required Greenfield run-off rate approved in the detailed drainage strategy. The materials selected and proposed landscaping would have a positive impact on the character and appearance of the surrounding area, in accordance with the vision

of the approved design code. Therefore, it is recommended that the application be approved.

## 2. **RECOMMENDATION**

### **APPROVAL subject to the following:**

#### **1 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers listed below and shall thereafter be retained/maintained for as long as the development remains in existence.

5105977/UXB/SR/0121 - Site Location Plan  
5105977/UXB/SR/0102 Rev A11 - Spine Road General Arrangement Sheet 1 of 2  
5105977/UXB/SR/0103 Rev A11 - Spine Road General Arrangement Sheet 2 of 2  
5105977/UXB/SR/0111 Rev A05 - Spine Road Swept Path Analysis Sheet 1 of 10  
5105977/UXB/SR/0112 Rev A05 - Spine Road Swept Path Analysis Sheet 2 of 10  
5105977/UXB/SR/0113 Rev A05 - Spine Road Swept Path Analysis Sheet 3 of 10  
5105977/UXB/SR/0114 Rev A05 - Spine Road Swept Path Analysis Sheet 4 of 10  
5105977/UXB/SR/0115 Rev A06 - Spine Road Swept Path Analysis Sheet 5 of 10  
5105977/UXB/SR/0116 Rev A06 - Spine Road Swept Path Analysis Sheet 6 of 10  
5105977/UXB/SR/0117 Rev A06 - Spine Road Swept Path Analysis Sheet 7 of 10  
5105977/UXB/SR/0118 Rev A06 - Spine Road Swept Path Analysis Sheet 8 of 10  
5105977/UXB/SR/0119 Rev A03 - Spine Road Swept Path Analysis Sheet 9 of 10  
5105977/UXB/SR/0120 Rev A02 - Spine Road Swept Path Analysis Sheet 10 of 10  
5105977/UXB/SR/0122 Rev A05 - Alignments and Contours Sheet 1 of 5  
5105977/UXB/SR/0123 Rev A03 - Alignments and Contours Sheet 2 of 5  
5105977/UXB/SR/0124 Rev A02 - Alignments and Contours Sheet 3 of 5  
5105977/UXB/SR/0125 Rev A03 - Alignments and Contours Sheet 4 of 5  
5105977/UXB/SR/0126 Rev A04 - Alignments and Contours Sheet 5 of 5  
5105977/UXB/SR/0141 Rev A02 - Spine Road Typical Cross Section  
5105977/UXB/SR/0142 - Spine Road Long Sections Sheet 1 of 2  
5105977/UXB/SR/0143 - Spine Road Long Sections Sheet 2 of 2  
5105977/UXB/SR/1301 Rev A01 - Spine Road Street Lighting Layout Sheet 1 of 2  
5105977/UXB/SR/1302 Rev A03 - Spine Road Street Lighting Layout Sheet 2 of 2  
5105977/UXB/SA/0120 Rev A03 - Southern Access Swept Path Analysis  
2152-SP-PP-01 - Spine Road Swale Planting Plan  
2152-SP-LA02 Rev G - Spine Road Surface Treatments  
2152-SP-LA03 Rev H - Spine Road Surface Treatments

#### **REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

## **INFORMATIVES**

### **1**

You are advised that in addition to the reserved matters approval, technical approval under Section 38 is required prior to commencement of road construction.

### **2 I1 Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed

precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

### **3 159 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies.

On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

## **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The application site forms part of St Andrews Park (the former RAF Uxbridge Site), for which outline consent was granted under application reference 585/APP/2009/2752 for a residential led, mixed-use development.

The site consists of 1.8 hectare, roughly L-shaped plot of land, which covers the areas where the southern section of the new spine road will be developed within the application site. Previously contained within the application site were sections of vacant buildings, which formed part of the former RAF Uxbridge Base. These buildings were approved for demolition as part of the outline consent and the majority have been subsequently demolished. The site is now largely open and landscaped space, with trees of differing species and height within the route of the spine road and also adjacent the route.

The spine road is to be situated in the western side of the St Andrews Park site and will connect with the Chippendale Way Roundabout to the junction between Hillingdon Road and the Greenway to the south. In addition, a new signalised junction (known as the central access) will be provided off Hillingdon Road into the site between phases 3 and 4 of the development. The spine road contained within the application site will be flanked by two or three storey residential dwellings, with a new public square, GP Surgery and retail units approved in a central square between phases 2 and 3. The road will also be boarded by the new district park to the east of the T-junction, where the spine road meets the link road to the new signalised junction. The area containing the district park is designated as Green Belt land with the remainder of the site being identified as within a Developed Area in the policies of the Hillingdon Local Plan (November 2012).

### **3.2 Proposed Scheme**

The application seeks to discharge the reserved matters relating to Layout, Scale, Appearance and Landscaping for the creation of the main Spine Road through the St Andrews Park Development (former RAF Uxbridge) as part of the infrastructure phase of the development.

The section of Spine Road being considered runs from the boundary line of the Hillingdon Road / Greenway Junction to the boundary of the new central access into the site. The application site does not include the section of spine road running through the town centre extension (through phases 4 & 7), as this will be designed alongside the reserved matters applications for these phases.

The design of the spine road consists of a main vehicular carriageway measuring 6.1 metres in width with a pedestrian pavements on either side. The vehicle carriageway would be black tarmac with the pavements finished using tegula setts. The kerbs would be conservation style kerbs, with drainage gulleys provided through the kerbs to ensure the flow surface water from the highway into the swale.

The swale would be set to the west of the spine road and would provide surface water drainage for the surrounding residential catchments and as well as the spine road. The swale would have a 1 in 3 gradient on the sides of the drain, which would be soft landscaped with small trees and planting. The swales would feed into a series of private drains and would be fed into the River Pinn in the district park.

The link road which connects the spine road to the proposed central access would have a kerb build out on the southern side of the street, which could provide on-street parking facilities at a later time.

The original submission included the signalised junction and the central access as part of the application. However, this section of the proposal has subsequently been withdrawn from this application, as confirmation of the modelling has not yet been received from TFL signals department. Details of this junction will form part of a subsequent application.

### 3.3 Relevant Planning History

585/APP/2009/2752 R A F Uxbridge Hillingdon Road Uxbridge

1. Outline application (all matters reserved, except for access) including demolition of some existing buildings and:
  - a) Creation of up to 1,296 residential dwellings (Class C3) of between 2 to 6 residential storeys;
  - b) Creation of up to 77 one-bedroom assisted living retirement accommodation of between 3 to 4 storeys;
  - c) Creation of a three-form entry primary school of 2 storeys;
  - d) Creation of a hotel (Class C1) of 5 storeys of up to 90 beds;
  - e) Creation of a 1,200 seat theatre with ancillary cafe (Sui Generis); office (Class B1a) of up to 13,860sq.m; energy centre (Sui Generis) of up to 1,200sq.m; and retail (Class A1, A2, A3, A4, A5) of up to 2,850sq m; in buildings of between 4 to 6 storeys as well as a tower element associated with the theatre of up to 30m;
  - f) Creation of a local centre to provide up to 150sq.m of retail (Class A1 and A2) and 225sq.m GP surgery (Class D1); Means of access and improvements to pedestrian linkages to the Uxbridge Town centre; car parking; provision of public open space including a district park; landscaping; sustainable infrastructure and servicing.
  
2. In addition to the above, full planning permission for:
  - a) Creation of 28 residential dwellings (Class C3) to the north of Hillingdon House of between 2 to 3 storeys as well as associated amenity space and car parking;
  - b) Change of use of Lawrence House (Building No. 109) to provide 4 dwellings (Class C3), associated amenity space and car parking including a separate freestanding garage;
  - c) Change of use and alterations to the Carpenters building to provide 1 residential dwelling (Class C3);
  - d) Change of use and alterations to the Sick Quarters (Building No. 91) to provide 4 dwellings (Class C3) as well as associated amenity space and car parking;
  - e) Change of use of Mons barrack block (Building No. 146A) to provide 7 dwellings (Class C3) as well as associated amenity space and car parking.
  - f) Change of use of the Grade II listed former cinema building to provide 600sq.m Class D1/2 use (no building works proposed);
  - g) Change of use and alterations to the Grade II listed Hillingdon House to provide 600sq.m for a restaurant (Class A3) on the ground floor and 1,500sq.m of office (Class B1) on the ground,

first and second floors;

**Decision:** 18-01-2012 Approved

585/APP/2012/3093 Former Raf Uxbridge Hillingdon Road Uxbridge

Application to discharge Condition 8 (traffic and parking arrangements, delivery and servicing, construction details and surfacing) for Infrastructure Phase, comprising detailed design of new vehicular and pedestrian access configuration to the southern entrance of the former RAF Uxbridge Site, at the junction with Hillingdon Road and The Greenway of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for the redevelopment of former RAF Uxbridge.

**Decision:** 16-01-2013 Approved

585/APP/2013/905 Former Raf Uxbridge Hillingdon Road Uxbridge

Application to discharge Condition 68 (Drainage) for Infrastructure Phase, comprising detailed design of the new 'Spine Road' and the new signalised junction with Hillingdon Road of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).

**Decision:**

#### **Comment on Relevant Planning History**

Planning permission was approved on 18th January 2012 under application reference 585/APP/2009/2752 for the following:

1. Outline application (all matters reserved, except for access) including demolition of some existing buildings and:

- a. Creation of up to 1,296 residential dwellings (Class C3) of between 2 to 6 residential storeys;
- b. Creation of up to 77 one-bedroom assisted living retirement accommodation of between 3 to 4 storeys;
- c. Creation of a three-form entry primary school of 2 storeys;
- d. Creation of a hotel (Class C1) of 5 storeys of up to 90 beds;
- e. Creation of a 1,200 seat theatre with ancillary cafe (Sui Generis); office (Class B1a) of up to 13,860 sq m; in buildings of between 4 to 6 storeys as well as a tower element associated with the theatre of up to 30m;
- f. Creation of a local centre to provide up to 150 sq m of retail (Class A1 and A2) and 225 sq m GP surgery (Class D1); means of access and improvements to pedestrian linkages to the Uxbridge Town Centre; car parking; provision of public open space including a district park; landscaping; sustainable infrastructure and servicing.

2. In addition to the above, full planning permission for:

- a. Creation of 28 residential dwellings (Class C3) to the north of Hillingdon House of between 2 to 3 storeys as well as associated amenity space and car parking;
- b. Change of use of Lawrence House (Building no. 109) to provide 4 dwellings (Class C3), associated amenity space and car parking including a separate freestanding garage;
- c. Change of use and alterations to the Carpenters building to provide 1 residential dwelling (Class C3);

- d. Change of use and alterations to the Sick Quarters (Building No. 91) to provide 4 dwellings (Class C3) as well as associated amenity space and car parking;
- e. Change of use of Mons barrack block (Building No. 146A) to provide 7 dwellings (Class C3) as well as associated amenity space and car parking;
- f. Change of use of the Grade II listed former cinema building to provide 600sq m Class D1/2 use (no building works proposed);
- g. Change of use and alterations to the Grade II listed Hillingdon House to provide 600 sq m for a restaurant (Class A3) on the ground floor and 1,500 sq m of office (Class B1) on the ground, first and second floors.

Since the approval the applicant has discharged a number of the pre commencement and other conditions attached to the permission relating to the application site.

#### **4. Planning Policies and Standards**

Since the approval of the outline consent, the London Plan (July 2011) has been adopted. This would not impact the determination of the current application.

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains
- PT1.EM6 (2012) Flood Risk Management

Part 2 Policies:

- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM8 Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE7 Development in areas likely to flooding - requirement for flood protection measures
- OE8 Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
- OL5 Development proposals adjacent to the Green Belt
- LPP 5.12 (2011) Flood risk management

- LPP 5.13 (2011) Sustainable drainage
- LPP 6.10 (2011) Walking
- LPP 6.7 (2011) Better Streets and Surface Transport
- LPP 7.16 (2011) Green Belt
- LPP 7.2 (2011) An inclusive environment
- LPP 7.4 (2011) Local character
- LPP 7.5 (2011) Public realm

## 5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- **1st May 2013**
- 5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

141 neighbouring occupiers were notified by way of letter on 9th April 2013, the application was advertised in the local press on 10th April 2013 and three site notices were erected on 12th April. By the close of the consultation period, no consultation responses had been received from any neighbouring occupier.

#### THAMES WATER

The reserved matters application does not affect Thames Water and as such we have no observations to make.

#### ENVIRONMENT AGENCY

The Environment Agency have reviewed the drainage details for the Spine Road under application reference 585/APP/2013/905, which approved the drainage layout for the Spine Road and they have raised no objection to the proposed development.

### Internal Consultees

#### HIGHWAYS OFFICER

This reserved matters application seeks approval for the detailed design of a substantial length of the main spine road that will eventually run from the Chippendale Roundabout to the Hillingdon Road/ The Greenway junction. The length under consideration is from a point just north of its junction with the new central access link off Hillingdon Road to a cut off point north of the Hillingdon Road/ The Greenway junction. It includes the new central access link road, excluding the new signal junction on Hillingdon Road which would be the subject of a separate application.

The short length of spine road from the southern cut off point to the Greenway junction has already been approved under a separate application.

The horizontal alignment of the spine road accords with that approved at outline. Condition 8 of the outline consent required the removal (and relocation elsewhere) of private residential parking on the spine road which is to be adopted under Section 38 of the Highways Act, 1980. The carriageway width has been widened from 6.0 to 6.1 metres to enable, if required, the introduction of a future parking management scheme which with parked cars would still allow a lorry and car to pass each other. Waiting restrictions comprising a combination of single and double yellow lines are to be introduced on both sides of the road including on the central access link road.

The spine road is designed as a 20 mph road with speed tables. Auto tracks for refuse lorries have



been provided. The road drainage is to discharge into swales which are to remain private and the Council's interest in this respect will be protected under a legal agreement.

The outline plans for the central access link road indicated parking lay-bys on both sides of the road. The ones on the north side have been deleted because of the impact on the adjoining mature trees. The lay by on the south side is to be retained and adopted.

An informative is required advising the applicant that in addition to the reserved matters approval, technical approval under Section 38 is required prior to commencement of road construction. Subject to the above no objections are raised on highway grounds

(Officer Comment: It is noted that adequate maintenance of the estate and swales is addressed within the existing legal agreement and conditions attached to the outline consent as discussed in section 7.17 of this report.

#### FLOODWATER MANAGEMENT OFFICER

The Spine Road drawings and the Spine Road Surface Water Catchments have been reviewed and are in accordance with the drainage strategy and drainage layouts for the neighbouring residential catchments.

Almost all of the provided information is acceptable, there is just one place where there appears to be a small amount of flooding in the calculations at point 15.003 on drawing 4 of 5 5105977/UXB/SR/0505 A02. If there is to be overland flow I need to be shown clearly how that is dealt with It would be good to have clarity if it ponds in that area, but this is not a major issue.

CASE OFFICER COMMENTS: The applicant has clarified that the flooded volume at point 15.003 has been identified as 0.795m<sup>3</sup> for the 1in100year +30% event. The flooded volume identified is located near the detention basin and any overland flow route would follow the contours towards the detention basin and towards the River Pinn. The flooded volume is insignificant for such a big event that closer inspection of cover levels and global variables in that area subject to detail design submission would eradicate the flooded volume. The Floodwater Management Officer has reviewed this and raised no further objections.

#### TREES AND LANDSCAPING OFFICER

Landmark Trees have produced an Arboricultural Method Statement intended to minimise damage to trees during the construction of the spine road and associated pavements and areas of build up.

The statement notes (1.3.1) that adjacent to the road there are 35 No. trees, of which 27 No. are B (moderate) category, with 1No. B/c, 4No. C category and 3No. C/u category whose poor quality makes them unsuitable for retention

Clause 1.3.3 confirms that the principal impact will be the loss of 6No. mature B category trees (T1878, 2025, 2027,2038,2039 and 2043) with 1No. C/u grade tree, T1004 necessary to accommodate the new road alignment.

Theoretical encroachment will also occur within the RPA s of B grade trees, T1003, 2013, 2017, 2020, 2021 and 2228, B/c grade tree 2019, C grade trees T1002 and 2014. Specified mitigation includes the careful removal of asphalt, the installation of clean granular fill and some pre-emptive crown lifting.

The impacts and required mitigation techniques are identified in Table 1. The sequence of work is described in 1.4.1 and site supervision is specified in 1.5. At 1.5, the Council s tree contact is given as John Lawson. A message has been left with Landmark Trees that the current LBH contact for

this site is now Robert Reeves.

The report describes the pre-development site preparation, tree protection barriers, pre-development site inspection protocol and the development phase.

Among the specific landscape objectives of this soft-engineering design is the intention to utilise low-maintenance grass mixes, with seasonal highlights provided by swathes of naturalised native bulbs. Shrub and herbaceous perennial planting will be used to provide seasonal visual interest and encourage biodiversity; multi-stemmed native trees (species of Alder and Birch, planted at 250-300cm height) will provide landscape structure and a visual buffer between the houses and the road. All of the planting has been selected to withstand the occasional inundation to which it will be subjected. The detail of the swales reflects the outcome of pre-application discussion between Allen Pyke Associates and Hillingdon officers.

Therefore, No objection is raised.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The erection of the spine road and swale was approved as part of the outline consent for the redevelopment of St Andrews Park. The road and swale are proposed in accordance with the approved parameter plan and drainage strategy and no objection is raised to the principle of the development.

### **7.02 Density of the proposed development**

Not applicable to this application.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application.

### **7.04 Airport safeguarding**

The proposed development is within the height parameters approved at outline stage to which National Air Traffic Services raised no objection. Therefore, the proposed development is considered to have an acceptable impact in terms of airport safeguarding.

### **7.05 Impact on the green belt**

The development would not encroach onto the green belt land to the west and the development is considered not to cause harm to its setting. Therefore, the development is considered to comply with Policy OL5 of the Hillingdon Local Plan.

### **7.07 Impact on the character & appearance of the area**

The Spine Road will form the primary vehicle and pedestrian route from north to south through the St Andrews Park development. The materials selected for highway are in keeping with the prominence of this route with conservation kerbs and tegula sets to provide an enhanced pedestrian environment. The swale would provide an area of soft landscaping which will be maintained as part of the responsibilities of the estate management company. It is, therefore, considered that the design and appearance of the spine road would have a positive impact on the visual amenities of the surrounding area, in accordance with Policies BE13, BE15 & BE19 of the Hillingdon Local Plan.

### **7.08 Impact on neighbours**

As the application is for the development of a highway and swale, the proposed development would cause no significant harm to residential amenity of the future occupiers of the neighbouring residential dwellings in terms of loss of light, loss of outlook or sense of dominance. Therefore, the development is in accordance with Policy BE20 & BE21 of the Hillingdon Local Plan.

The development would include the erection of various streetlights along the spine road. However, these have been design to ensure no unacceptable light spill into the dwellings

lining the spine road and would be in keeping with the lighting provided on any residential street. Therefore, the development is considered to comply with Policy OE1 of the Hillingdon Local Plan.

**7.09 Living conditions for future occupiers**

Not applicable to this application.

**7.10 Traffic impact, Car/cycle parking, pedestrian safety**

**TRAFFIC IMPACT**

The applicant has been in extensive pre-application discussions with regards to highways safety, given the linear nature and length of the spine road. The result of the pre-application discussions have resulted in the creation of a spine road with speed tables at a number of key junctions which will act as traffic calming measures. Furthermore, the spine road will be limited to 20 mph to ensure a greater level of pedestrian and highway safety. The Highways Officer have reviewed the final design, including the access points into the smaller residential side streets and is satisfied that the development will ensure the protection of highway and pedestrian safety in accordance with Policy AM7 of the Hillingdon Local Plan.

**CAR PARKING**

At the outline stage Condition 8 of the outline consent was amended to require plans to show no parking being provided on the spine road. This was due to concerns about private residential parking being provided on an adopted road, as was originally envisaged by the masterplan. The current proposal has no residential parking on the spine road. A small section of kerb build out has been provided on the southern side of the link road at the request of parking services, in order to provide a potential position for future pay and display parking within the site. The width of the vehicle carriageway has also been increased to 6.1 metres to allow for future on-street parking if required. The Highways Officer has reviewed the kerb build out and width of carriageway and considers the arrangements suitable for potential future parking at the site.

**PEDESTRIAN SAFETY AND MOVEMENT**

The proposed development has included three pavements within the design of the spine road to allow for the maximum separation of pedestrians and cars. At 2.0 metres the width of the pedestrian footways are considered acceptable and suitable crossing points have been provided at the junctions. The highways officer has reviewed this arrangement and raised no objection. Therefore, the development is considered to comply with Policy AM8 of the Hillingdon Local Plan.

**7.11 Urban design, access and security**

The design of the highway and swale are in accordance with the Design Code approved at Outline Stage and are considered acceptable in terms of Urban Design.

**7.12 Disabled access**

The vehicle carriageway is 2 metres in width and would allow two wheelchair users to pass simultaneously. The design of the road has been undertaken to be DDA compliant and tactile paving would be provided at pedestrian crossing point for blind users of the road. Street furniture has been kept to a minimum along the pedestrian footways. Therefore, the development is considered to comply with the Hillingdon Design and Accessibility Statement Accessible Hillingdon and Policy 7.2 of the London Plan (July 2011).

**7.13 Provision of affordable & special needs housing**

Not applicable to this application.

**7.14 Trees, landscaping and Ecology**

The outline plans for the central access link road indicated parking lay-bys on both sides of the road. However, the provision of parking on the northern side of the road would have significantly undermined the row of horse-chestnut trees to the north of the road. Therefore, these significant trees are being retained, as shown on the outline master plan, and parking provided on the southern side of the road only. The Council's Highways Engineer is fully satisfied that this proposed arrangement is acceptable in highways and parking terms and officers are of the view that the retention of these trees which will significantly enhance the landscape appearance of the development is important.

The location of the proposed spine road and swale will require the removal of a number of trees from the site. The Trees and Landscaping Officer has reviewed the proposal and none of these trees would be considered as having a high landscape importance. Therefore no objection is raised to their removal or the proposed tree protection measures for the retained trees in close proximity of the spine road. The Trees and Landscaping Officer has reviewed the proposed landscaping for the swale and finds the planting selection acceptable for the use within a swale. Therefore, the development is considered to comply with Policy BE38 of the Hillingdon Local Plan.

#### **7.15 Sustainable waste management**

The Highways Officer has reviewed the proposed layout and the associated tracking and considers that the kerb radii would be acceptable to allow refuse vehicles to enter and exit the residential side streets. Therefore, no objection is raised in this regard.

#### **7.16 Renewable energy / Sustainability**

Not applicable to this application.

#### **7.17 Flooding or Drainage Issues**

The outline consent for the development approved the creation of a green swale to the west of the spine road, which would provide surface water drainage for the highway and neighbouring residential catchments. The swale will remain in the private ownership of the St Andrews Park Estate Management Company and the S106 for the outline consent requires a SUDS plan for the management of the swale to be provided to the Council for approval, prior to the commencement of works. Furthermore, the S106 also requires an Estate Management Plan to be submitted to the Council for its approval prior to the occupation of any dwelling. The Council has approved the SUDS management plan and is in the process of agreeing the responsibilities of the estate management company. These two documents require the applicant to maintain the swale in good working order, therefore, no objection has been raised to the highways drainage being fed into the privately owned swale.

The Floodwater Management Officer has reviewed the proposed drainage and finds that the swale and associated SUDS would provide an acceptable capacity and greenfield run-off rate and would not increase flood risk in the surrounding area. Therefore, the application is considered to comply with Policy OE7 of the Hillingdon Local Plan and Policy 5.12 of the London Plan (July 2011).

#### **7.18 Noise or Air Quality Issues**

Not applicable to the current application.

#### **7.19 Comments on Public Consultations**

No further comments with regard to the public consultation.

#### **7.20 Planning obligations**

None required.

#### **7.21 Expediency of enforcement action**

None required.

## **7.22 Other Issues**

No further issues for consideration.

## **8. Observations of the Borough Solicitor**

## **9. Observations of the Director of Finance**

None received.

## **10. CONCLUSION**

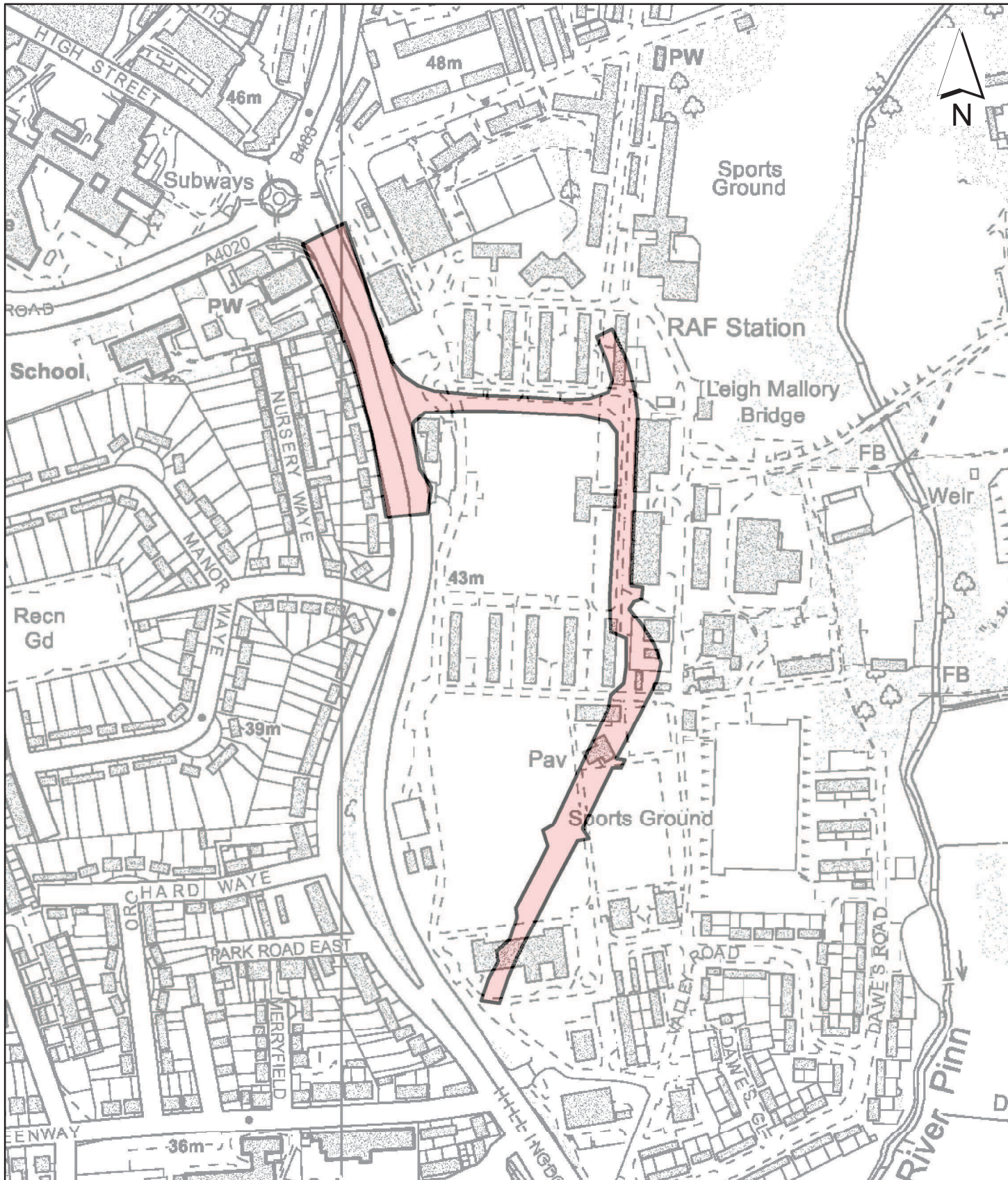
The spine road and swale have been designed in accordance with the parameter plan and design code approved at outline stage. The layout has been reviewed by the Highways Officer who have raised no objection to the proposal in terms of highway and pedestrian safety. The proposed swale would offer an acceptable SUDS design, which would meet the required greenfield run-off rate approved in the detailed drainage strategy. The materials selected and proposed landscaping would have a positive impact on the character and appearance of the surrounding area, in accordance with the vision of the approved design code. Therefore, it is recommended that the application be approved.

## **11. Reference Documents**

Hillingdon Local Plan (November 2012);  
The London Plan (July 2011);  
National Planning Policy Framework;  
Hillingdon Design and Accessibility Statement: Residential Layouts (July 2006);  
Hillingdon Design and Accessibility Statement: Accessible Hillingdon (January 2010).

**Contact Officer:** Alex Smith

**Telephone No:** 01895 250230



**Notes**

 Site boundary

For identification purposes only.  
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Site Address

**Former RAF Uxbridge  
 Hillingdon Road  
 Uxbridge**

Planning Application Ref:  
**585/APP/2013/759**

Planning Committee  
**Major Applications**

Scale  
**1:4,000**

Date  
**May 2013**

**LONDON BOROUGH  
 OF HILLINGDON  
 Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Sport and Green Spaces

**Address** QUEENS WALK RESOURCE CENTRE QUEENS WALK RUISLIP

**Development:** Refurbishment and re-cladding of existing building including erection of a new entrance lobby and erection of new single storey 400sqm building to provide an educational and well-being facility (Use Class D1).

**LBH Ref Nos:** 12059/APP/2012/2570

**Drawing Nos:** 2012/D92/01 Rev A  
2012/D92/02 Rev B  
2012/D92/03 Rev D  
2012/D92/04 Rev A  
2012/D92/05 Rev B  
2012/D92/06 Rev A  
2012/D92/07 Rev A  
2012/D92/08 Rev A  
2012/D92/09  
2012/D92/10 Rev A  
2012/D92/11  
2012/D92/12 Rev A  
2012/D92/13 Rev D  
2012/D92/14  
2012/D92/15  
2012/D92/18  
2012/D92/19  
2012/D92/20 Rev A (Car Park)  
2012/D92/20 (Side Access)  
2012/D92/21 (Car Park)  
2012/D92/21 (Side Access)  
2012/D92/22  
Design and Access Statement V3 (2012/D92 V3)  
QWRC Operational Brief (2012/D92/16)  
QWRC Accomodation Schedule (2012/D92/17)  
Room Data Sheets (2012/D92/30)  
Arboricultural Impact Survey (2011/D92/P/23)  
Arboricultural Impact Survey (2011/D102/P/23)  
Surface Water Drainage Strategy (518694/C03 Rev A (November 2012))  
Mechanical and Electrical Services Planning and Services Strategy Report (611851 (31/10/2012))

**Date Plans Received:** 19/10/2012      **Date(s) of Amendment(s):** 16/04/2013

**Date Application Valid:** 19/10/2012      19/10/2012

### 1. SUMMARY

This application seeks full planning permission for the refurbishment of the Hillingdon Training Centre to form a Learning Resource Centre for people with severe learning and physical disabilities, and the construction of a new WREN MENCAP Centre, together with associated external works including the creation of a new sensory garden on the site.

In 2012, the Council authorised officers to implement the amended Disabilities Commissioning Plan and, as part of that, to develop a new resource centre for people with complex needs at the Queens Walk site and also to decommission Park View and Woodside day centres and use them to develop extra care housing for people with learning disabilities. The new resource centre will be available to those people with a learning disability and other complex needs that live with carers and who's Fair Access to Care Eligibility assessment and support planning process identifies needs that are either wholly or partly best met in a building based service. Service users with varying abilities will be enabled to access the building. Services will include therapies (such as physiotherapy, music and drama), information and advice on employment and training, and outside activities.

It is noted that a portion of the Deansfield Primary School playing field would be lost as a result of the proposals, which Sport England originally raised an objection to. Sport England have been reconsulted on the basis the Council will make a contribution towards sports equipment for Deansfield Primary School, which they consider is sufficient to offset this loss, as such, they have withdrawn their objection.

The proposal fully complies with the aims of the National Planning Policy Framework (NPPF), London Plan policy 3.18 and UDP policy R10, which seek to encourage the provision of new and/or enhanced educational facilities. It is not considered that the proposed development would result in an unacceptable visual impact on the visual amenities of the site or the surrounding area. The proposal would not have any detrimental impact on the amenities of the occupiers of neighbouring residential units and it is not considered that the development would lead to such a significant increase in traffic that refusal could be justified on highway grounds. The proposal is considered to comply with relevant Local Plan and London Plan policies and, accordingly, approval is recommended subject to Sport England formally withdrawing their objection.

## **2. RECOMMENDATION**

**That delegated powers be given to the Head of Planning, Sport and Green Spaces to grant planning permission, subject to any relevant amendments agreed by the Head of Planning, Sport and Green Spaces, and the following:**

**A) That the Council enters into a Statement of Intent, or other legal mechanism, to secure:**

**i. A contribution of £10,000 to be paid to Deansfield Primary School towards the provision of sports equipment, including (but not limited to) goal posts, line painting, netball hoops, rounders equipment (including posts, bats and balls), training bibs, football, rugby and netball training/coaching kits and the provision of a long jump and sandpit, together with indoor sports equipment.**

**B) Sport England formally withdrawing their objection to the application.**

**C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.**

**D) That subject to the above, the application be deferred for determination by the Head of Planning, Sport and Green Spaces under delegated powers, subject to the completion the Statement of Intent or other legal mechanism.**

**E) That if the application is approved, the following conditions be imposed subject**



**to any changes negotiated by the Head of Planning, Sport and Green Spaces prior to issuing the decision:**

**1 SP01 Council Application Standard Paragraph**

(This authority is given by the issuing of this notice under Regulation 3 of the Town and Country Planning General Regulations 1992 and shall enure only for the benefit of the land).

**2 COM3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

**3 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 2012/D92/01 Rev A; 2012/D92/02 Rev B; 2012/D92/03 Rev D; 2012/D92/04 Rev A; 2012/D92/05 Rev B; 2012/D92/06 Rev A; 2012/D92/07 Rev A; 2012/D92/08 Rev A; 2012/D92/09; 2012/D92/10 Rev A; 2012/D92/11; 2012/D92/12 Rev A; 2012/D92/13 Rev D; 2012/D92/14; 2012/D92/15; 2012/D92/18; 2012/D92/19; 2012/D92/20 Rev A (Car Park); 2012/D92/20 (Side Access); 2012/D92/21 (Car Park); 2012/D92/21 (Side Access); 2012/D92/22; and shall thereafter be maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**4 COM5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:  
Accessibility Measures (Design and Access Statement V3 (2012/D92 V3))  
Sustainable Design Features (Surface Water Drainage Strategy (518694/C03 Rev A (November 2012) and Mechanical and Electrical Services Planning and Services Strategy Report (611851 (31/10/2012))

Thereafter the development shall be maintained in accordance with these details for as long as the development remains in existence

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

**5 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, , including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

## REASON

To ensure that the development presents a satisfactory appearance in accordance with policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### **6 COM8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.

2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

2.a There shall be no changes in ground levels;

2.b No materials or plant shall be stored;

2.c No buildings or temporary buildings shall be erected or stationed.

2.d No materials or waste shall be burnt; and.

2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

## REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### **7 COM9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Refuse Storage

2.b Cycle Storage

2.c Means of enclosure/boundary treatments

2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points and four disabled parking bays)

- 2.e Hard Surfacing Materials
- 2.f External Lighting
- 2.g Other structures (such as play equipment and furniture)

3. Details of Landscape Maintenance

- 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
- 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

5. Other

- 5.a Existing and proposed functional services above and below ground
- 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

**REASON**

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and policies 5.11 and 5.17 of the London Plan (July 2011).

**8 NONSC Secured by Design**

The buildings shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No building shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 7.1 and 7.3 of the London Plan (2011).

**9 NONSC Fire Emergency Plan**

Prior to the first occupation of the development hereby approved a comprehensive fire emergency plan that demonstrates how disabled people will be safeguarded from fire and enabled to evacuate the building shall be submitted to and approved in writing by the Local Planning Authority.

**REASON**

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 3.1, 3.8 and 7.2 of the London Plan (2011).

**10 NONSC Imported Soils**

All imported soils used for landscaping purposes including soils shall be clean and free of contamination.

#### REASON

To ensure that the users of the development are not subject to any risks from soil contamination in accordance with policy OE11 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **11 COM20 Air extraction system noise and odour**

No air extraction system shall be used on the premises until a scheme for the control of noise and odour emanating from the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include such combination of measures as may be approved by the LPA. Thereafter, the scheme shall be implemented and maintained in full compliance with the approved measures.

#### REASON

To safeguard the amenity of the occupants of surrounding properties in accordance with policy OE1 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **12 COM15 Sustainable Water Management**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall proceed in accordance with the approved scheme.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with policy OE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and policy 5.12 of the London Plan (July 2011).

#### **13 NONSC PV Installation/Monitoring**

Prior to construction of the building hereby approved, full details of the proposed photovoltaic installation, including measures as to how the energy savings produced will be monitored, shall be submitted to and approved in writing by the Local Planning Authority. The photovoltaic panels shall thereafter be retained, maintained and monitored for the lifetime of the development.

#### REASON

To ensure a sustainable approach to energy efficiency and carbon reductions is met

across the existing school site, in accordance with Policies 5.2 and 5.3 of the London Plan (2011).

**14 COM12 Use Within Same Use Class**

The premises shall be used for the purposes of a educational and well being facility and for no other purpose (including any other purpose in Class D1 of the Schedule to the Town and Country Planning (Use Classes) Order 1987).

**REASON**

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking in compliance with policy AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Chapter 6 of the London Plan (July 2011).

**INFORMATIVES**

**1 I52 Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.

BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
R4	Proposals that would involve the loss of recreational open space
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
R6	Ancillary recreational facilities
R8	Loss of facilities which support arts, cultural and entertainment activities
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R11	Proposals that involve the loss of land or buildings used for education, social, community and health services
R16	Accessibility for elderly people, people with disabilities, women and children
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 2.8	(2011) Outer London: Transport
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.16	(2011) Protection and enhancement of social infrastructure
LPP 3.18	(2011) Education Facilities
LPP 3.19	(2011) Sports Facilities
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.4	(2011) Retrofitting
LPP 5.7	(2011) Renewable energy
LPP 5.11	(2011) Green roofs and development site environs
LPP 5.21	(2011) Contaminated land
LPP 6.1	(2011) Strategic Approach
LPP 6.9	(2011) Cycling
LPP 6.10	(2011) Walking
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture
LPP 7.13	(2011) Safety, security and resilience to emergency
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 8.2	(2011) Planning obligations
LPP 8.3	(2011) Community infrastructure levy

**3            11            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

**4            13            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

**5            111            The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

**6            113            Asbestos Removal**

Demolition and removal of any material containing asbestos must be carried out in accordance with guidance from the Health and Safety Executive and the Council's Environmental Services. For advice and information contact: - Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277401) or the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (Tel. 020 7556 2100).

**7            115            Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**8 118 Storage and Collection of Refuse**

The Council's Waste Service should be consulted about refuse storage and collection arrangements. Details of proposals should be included on submitted plans. For further information and advice, contact - the Waste Service Manager, Central Depot - Block A, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB8 3EU (Tel. 01895 277505 / 506).

**9 119 Sewerage Connections, Water Pollution etc.**

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE. Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

**10 134 Building Regulations 'Access to and use of buildings'**

Compliance with Building Regulations 'Access to and use of buildings' and Disability Discrimination Act 1995 for commercial and residential development.

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice. AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from [www.opsi.gov.uk](http://www.opsi.gov.uk)



· Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

· Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

· Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from [www.drc-gb.org](http://www.drc-gb.org).

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6.

## **11 I58 Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: [petersale@hillingdontraining.co.uk](mailto:petersale@hillingdontraining.co.uk)

## **12**

The Equality Act 2010 seeks to protect people accessing goods, facilities and services from discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within their facility, particularly in situations where reasonable adjustment can be incorporated with relative ease.

The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The site is approximately 3700sqm, and lies to the west of Queens Walk, to the west of Deansfield Primary School, to the northern side of the school's playing field. Queensmead School lies further to the south, and the Queensmead Sports Centre ground to the west. The existing building on the site is approximately 1000sqm, and is single storey. The Ruislip Early Years and Children's Centre (EY & CC) is a single storey building and the row houses, to the north, are two storey 2-4 bedroom semi-detached houses.

The site is accessed via a small access road off Queens Walk, which also serves the EY & CC. The Resource Centre site lies to the west of the recently completed EY & CC. To the south lie the playing fields of Deansfield Primary School. To the north lies Long Drive, which is made up of a row of semi-detached houses. The back-gardens of these houses form the northern boundary of the site.

### 3.2 Proposed Scheme

This application seeks full planning permission for the refurbishment of the Hillingdon Training Centre to form a Learning Resource Centre for people with severe learning and physical disabilities, and the construction of a new WREN MENCAP Centre, together with associated external works including the creation of a new sensory garden on the site.

The Queens Walk site currently houses an existing single storey Terrapin building, between 7 and 8 years old. The existing roof covering will need to be wholly or partially replaced subject to a condition survey.

The new resource centre will be available to those people with a learning disability and other complex needs that live with carers and who's Fair Access to Care Eligibility assessment and support planning process identifies needs that are either wholly or partly best met in a building based service.

Service users and carers are involved in the design and development of the new facility. Service users with varying abilities will be enabled to access the building. Services will include therapies (such as physiotherapy, music and drama), information and advice on employment and training, and outside activities. The following facilities will be included:

- Hydrotherapy pool, sensory room and snoozeleum
- A cafe open to the local community and staffed by volunteers
- Accessibility: ramps, doors and space for wheelchairs
- Equipment: hoists, lockers, showers, changing rooms
- Cooking facilities: kitchen, cooker, microwave
- Toileting facilities: changing tables, washing machine and dryer
- Staff: sufficient numbers to manage the centre safely
- Outside area with parking facilities
- A sensory garden to stimulate users through sight, sounds, texture.

To provide the sensory garden of a suitable size and provide adequate external facilities, ideally additional space is required and this can be accessed by squaring off 563 square metres of land forming part of the grounds of Deansfield Primary School. The impact on the school of the loss of the 563 square metres is not detrimental to the school as even after the loss there is still significantly above minimum playing field area provision. In return for the loss of a small portion of playing fields London Borough of Hillingdon will offer Deanesfield Primary School a contribution towards Sports Equipment.

The Wren Centre is a Mencap provided social club for people with learning disabilities. The development includes the construction of a new standalone timber frame single storey building to be sited adjacent to the new resource centre. The Wren Centre will be in use only in the evenings and at weekends. Thus the benefit of siting the building adjacent to the new resource centre is that it can be available for use by other community users during day times and the Wren Centre users can have access to the garden.

### 3.3 Relevant Planning History

12059/APP/2000/97      Deansfield Primary School Queens Walk Ruislip  
ERECTION OF A SINGLE STOREY EXTENSION TO FORM THREE ADDITIONAL  
CLASSROOMS AND EXTENSION TO BOILER HOUSE

**Decision:** 01-03-2000    Approved

12059/APP/2001/855 Deansfield Primary School Queens Walk Ruislip  
ERECTION OF A SINGLE STOREY FLAT ROOF EXTENSION TO FORM TWO FURTHER CLASSROOMS

**Decision:** 11-07-2001 Approved

12059/APP/2003/66 Deansfield Primary School Queens Walk Ruislip  
ERECTION OF A SINGLE STOREY BUILDING TO PROVIDE NEW COMMUNICATION CENTRE

**Decision:** 17-02-2003 Approved

12059/APP/2006/1264 Deansfield Primary School Queens Walk Ruislip  
TWO SMALL INFILL EXTENSIONS TO JUNIOR CLASSROOMS

**Decision:** 23-06-2006 Approved

12059/APP/2007/3504 Deansfield Primary School Queens Walk Ruislip  
ERECTION OF A SINGLE STOREY EXTENSION TO PROVIDE 2 NEW OFFICES.

**Decision:** 25-01-2008 Approved

12059/APP/2010/1908 Deansfield Primary School Queens Walk Ruislip  
Single storey detached building for use as an Early Years/Childrens Centre with associated outdoor play areas, including external works and improvements to existing vehicular access and parking arrangements, involving the demolition of existing buildings on site.

**Decision:** 12-10-2010 Approved

12059/L/79/2192 Deansfield Primary School Yard Queens Walk Ruislip  
Continued use as a Teachers Centre.

**Decision:** 12-05-1980 ADH

12059/M/85/0827 Deansfield Primary School Yard Queens Walk Ruislip  
Retention of permission 12059/79/2192 (P)

**Decision:** 12-06-1985 ALT

12059/N/90/1262 Deansfield Primary School Yard Queens Walk Ruislip  
Continued use of existing buildings as Teachers Centre

**Decision:** 10-10-1990 ADH

12059/T/98/0881 Training Centre, Deansfield Primary Sch Queens Walk Ruislip

Erection of a new single storey education and training centre (involving demolition of 10 existing buildings)

**Decision:** 17-07-1998 ADH

#### **Comment on Relevant Planning History**

The site has an extensive planning history related to the use of the site as a teaching and training centre, as summarised above.

#### **4. Planning Policies and Standards**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
Policy Statement - Planning for Schools Development (DCLG, 15/08/11)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Air Quality  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Noise  
Hillingdon Supplementary Planning Guidance - Land Contamination

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment  
PT1.C11 (2012) Community Infrastructure Provision  
PT1.EM1 (2012) Climate Change Adaptation and Mitigation  
PT1.EM5 (2012) Sport and Leisure  
PT1.EM6 (2012) Flood Risk Management  
PT1.EM8 (2012) Land, Water, Air and Noise  
PT1.T1 (2012) Accessible Local Destinations

Part 2 Policies:

AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity  
AM7 Consideration of traffic generated by proposed developments.  
AM8 Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes  
AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities  
AM13 AM13 Increasing the ease of movement for frail and elderly people and people

with disabilities in development schemes through (where appropriate): -  
 (i) Dial-a-ride and mobility bus services  
 (ii) Shopmobility schemes  
 (iii) Convenient parking spaces  
 (iv) Design of road, footway, parking and pedestrian and street furniture schemes

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OE11	Development involving hazardous substances and contaminated land - requirement for ameliorative measures
R4	Proposals that would involve the loss of recreational open space
R5	Proposals that involve the loss of sports, leisure, community, religious, cultural or entertainment facilities
R6	Ancillary recreational facilities
R8	Loss of facilities which support arts, cultural and entertainment activities
R10	Proposals for new meeting halls and buildings for education, social, community and health services
R11	Proposals that involve the loss of land or buildings used for education, social, community and health services
R16	Accessibility for elderly people, people with disabilities, women and children
>>	London Plan (2011) Policies
LPP 2.6	(2011) Outer London: vision and strategy
LPP 2.8	(2011) Outer London: Transport
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.16	(2011) Protection and enhancement of social infrastructure
LPP 3.18	(2011) Education Facilities
LPP 3.19	(2011) Sports Facilities
LPP 5.1	(2011) Climate Change Mitigation
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.4	(2011) Retrofitting

- LPP 5.7 (2011) Renewable energy
- LPP 5.11 (2011) Green roofs and development site environs
- LPP 5.21 (2011) Contaminated land
- LPP 6.1 (2011) Strategic Approach
- LPP 6.9 (2011) Cycling
- LPP 6.10 (2011) Walking
- LPP 6.13 (2011) Parking
- LPP 7.1 (2011) Building London's neighbourhoods and communities
- LPP 7.2 (2011) An inclusive environment
- LPP 7.3 (2011) Designing out crime
- LPP 7.4 (2011) Local character
- LPP 7.6 (2011) Architecture
- LPP 7.13 (2011) Safety, security and resilience to emergency
- LPP 7.15 (2011) Reducing noise and enhancing soundscapes
- LPP 8.2 (2011) Planning obligations
- LPP 8.3 (2011) Community infrastructure levy

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- **21st November 2012**

## **6. Consultations**

### **External Consultees**

Consultation letters were sent to 23 local owner/occupiers on 22/10/2012. The application was also advertised by way of site notices. A petition of 111 signatures, together with 29 letters of objection have been received which raise the following concerns:

- i) Plans for fencing are not appropriate
- ii) Loss of egress and emergency access to Deansfield Primary School
- iii) Increased traffic hazards in Queens Walk and increase congestion
- iv) Change of sports field to garden
- v) Impact on property value
- vi) Loss of privacy
- vii) Loss of light
- viii) Noise
- ix) Air pollution
- x) Loss of view
- xi) Loss of trees

SPORT ENGLAND:

Further to the original response sent, Sport England has received further information from the applicant. In light of this additional information, Sport England has reassessed the application.

The proposed sensory garden will still result in the loss of playing field that is capable of

accommodating a pitch. Technically, the proposal would not be entirely consistent with exception E3 of Sport England's Playing Field Policy which states:

E3 - The proposed development affects only land incapable of forming, or forming part of, a playing pitch and does not result in the loss of or inability to make use of any playing pitch (including the maintenance of adequate safety margins), a reduction in the size of the playing area of any playing pitch or the loss of any other sporting/ancillary facilities on the site.

However, in this instance we are mindful of the following characteristics:

- The amount of playing field loss is 563 square metres. When compared to the overall size of the school's playing field of approximately 11, 500 square metres, this represents around 5%.
- This percentage is considerably reduced when considering the neighbouring Queensmead Secondary School and the Goals Soccer Club to approximately 0.8%
- No existing pitches will be affected by the proposal and the school will still retain sufficient playing field to mark out additional pitches.
- A contribution of £10,000 will be made towards the provision of items such as goal posts, line painting, netball hoops, rounders equipment (including posts, bats and balls, training bibs, football, rugby and netball training/coaching kits and the provision of a long jump and sandpit. This money will also be used for the provision of equipment within the indoor sports hall. This will be secured via a Section 106 agreement.

In light of the above characteristics relating to this site, on this occasion, Sport England is satisfied that there will be no harm to sport and recreation provision on the site.

We note that the contribution of £10,000 will be secured by way of a Section 106 agreement. Sport England wishes to maintain its objection to this application on the basis that it will result in the loss of playing field, until a suitable Section 106 agreement, or other legal mechanism is delivered.

Sport England can confirm that once a suitable section 106 agreement or other legal mechanism has been signed, we will withdraw our objection. Sport England would be pleased to discuss the contents of the section 106 agreement or other legal mechanism, with a view to withdrawing the current objection.

Should your Authority be minded to approve the application without an acceptable section 106 agreement or other legal mechanism in place, then in accordance with The Town and Country Planning (Consultation) (England) Direction 2009, and the DCLG letter of 10 March 2011, the application should be referred to the Department of Communities and Local Government.

**MOD SAFEGUARDING:**

No safeguarding objection to the proposal.

**Internal Consultees**

**ENVIRONMENTAL PROTECTION UNIT:**

No objections raised, subject to the imposition of conditions requiring details of an extraction system, and restrictions on imported soils and asbestos removal, and an informative regarding construction nuisance.

**HIGHWAYS OFFICER:**

No objections.

ACCESS OFFICER:

The proposal has been subject to extensive pre-application discussion with the Council's Access Officer and is considered to be exemplary in terms of access and inclusive design.

The plans submitted are as per agreed at the final pre-application meeting and are acceptable to allow the application to progress.

As such, no objection is raised from an accessibility point of view.

TREE OFFICER:

Tree Preservation Order (TPO)/Conservation Area: There are no tree preservation orders on site and it is not in a conservation area.

Significant trees/other vegetation of merit in terms of Saved Policy BE38: Design changes and engineering solutions have been incorporated into the application to ensure that the high value trees have been retained. Whilst trees are lost this will be mitigated by the planting of new trees and landscaping around the buildings.

Scope for new planting: Yes - Outlined in the landscaping proposals

Conclusion (in terms of Saved Policy BE38): Acceptable

**7. MAIN PLANNING ISSUES**

**7.01 The principle of the development**

Policy R10 of the Council's Unitary Development Plan Saved Policies (September 2007) seeks to encourage the provision of enhanced educational facilities across the borough, stating:

"The Local Planning Authority will regard proposals for new meeting halls, buildings for education, social, community and health services, including libraries, nursery, primary and secondary school buildings, as acceptable in principle subject to other policies of this plan."

This is reiterated in the London Plan Policy 3.18 which states:

"Development proposals which enhance education and skills provision will be supported, including new build, expansion of existing facilities or change of use to educational purposes. Those which address the current projected shortage of primary school places will be particularly encouraged."

The new resource centre will be available to those people with a learning disability and other complex needs that live with carers and who's Fair Access to Care Eligibility assessment and support planning process identifies needs that are either wholly or partly best met in a building based service. The facility will provide services such as therapies (such as physiotherapy, music and drama), information and advice on employment and training, and outside activities. In addition, the provision of a good quality new building, and the improvement of the main building, is considered to be visually desirable and would enhance the overall visual amenities of the site.

It should also be noted that the proposed development would result in loss of a small part of the playing field of Deansfield Primary School to enable the provision of a sensory garden for the centre. In order to make up for this loss of playing field, the Council is



committed to making a contribution to Deansfield Primary School towards sports equipment and facilities, which would be secured by a legal mechanism on any grant of permission. Paragraph 74 of the National Planning Policy Framework states that:

"Existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless:

- an assessment has been undertaken which has clearly shows the open space, buildings or land to be surplus to requirements; or
- the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss.

Sport England originally raised an objection based on the loss of the portion of the pitch. However, the contribution to Deanfield Primary School did not form part of the original application. As such, Sport England have been reconsulted on this provision, and following further assessment they have confirmed that the provision contribution and the characteristics relating to this site, on this occasion, they are satisfied that there will be no harm to sport and recreation provision on the site. Accordingly, Sport England has withdrawn their objection to the proposal.

The site has no other specific designations. The proposals are considered to comply with relevant local, regional and national planning policy relating to educational uses and playing fields. Accordingly, no objections are raised to the principle of the development subject to the proposal meeting site specific criteria.

#### **7.02 Density of the proposed development**

No residential units are proposed as part of this application. As such, density is not relevant to the application.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located within a Conservation Area, Area of Special Local Character or Archaeological Priority Area, and there are no Listed Buildings on the site. As such, it is considered that the scheme would not impact in the heritage of the borough.

#### **7.04 Airport safeguarding**

The site is not located within an airport safeguarding area. As such, it would not impact on the safe operation of any airport.

#### **7.05 Impact on the green belt**

The site is not located within or adjacent to the Green Belt. As such, it is considered that the scheme would not impact on the openness of the Green Belt.

#### **7.07 Impact on the character & appearance of the area**

Due to the location of the proposed building to the rear of the site and adjacent to another school site, very limited views of the proposed development would be available from surrounding roads. In addition, due to the screening provided by existing trees (to be retained) along the site boundaries and within the surrounding area, and by surrounding buildings it is not considered that the building would appear overly prominent in this location. In any views which are available the development would be seen in context with existing buildings surrounding the site and would not be over prominent or out of keeping with the character or appearance of the surrounding area. Accordingly, the proposed development is considered to be visually acceptable in this location.

#### **7.08 Impact on neighbours**

The nearest residential properties are located in Long Drive to the north of the site, with

the remaining sides of the site being adjacent to school uses or playing fields. The nearest part of the proposed building to the boundary of residential properties to the south is 4m, and at this point the building is 25m from the rear wall of the dwelling at numbers 125, 127, 129 and 131 Long Drive. This exceeds guidance on minimum overlooking distances, as set out in the Council's Supplementary Planning Document on Residential Layouts.

Given the distance between the proposed building and the nearest residential properties and screening which would be provided by existing tree planting along the school's boundaries, it is not considered that the proposal would result in an unacceptable loss of outlook, privacy or daylight sufficient to justify refusal.

It should be noted that the layout was revised during determination to move the building further from the boundary with the nearby residential properties. This had the effect of enabling a number of boundary trees to be retained. In effect, the revisions sought to overcome the issues raised in the petition.

#### **7.09 Living conditions for future occupiers**

No residential units are proposed as part of this application. As such, this is not relevant to the application.

#### **7.10 Traffic impact, Car/cycle parking, pedestrian safety**

It is considered that the vehicle trip generation resulting from this proposal is not likely to significantly impact on the capacity of the highways network. The proposal provides 14 car parking spaces, to which the Council's Highway Officer raises no objection. Four of the 14 spaces would be provided as disabled car parking spaces, in accordance with requirements.

The existing access to the site would be used to access the car parking, which is considered to be sufficient. Cycle parking is possible at ground floor level, but no details are provided. However, this could be conditioned if permission were granted.

#### **7.11 Urban design, access and security**

Urban design:

The proposed design is simple with different materials to break up the elevation. The south elevation, which faces the only real street frontage of the site, would be single-storey with a curved entrance which would create a focus on this elevation. The bulk of the building, the two-storey wing, would be set away from the residential street. The long elevation would be broken by large glazed windows and vertical sections of cladding, which is considered to add to the interest of the building.

The size, scale, height and design of the proposed building is considered to be acceptable in this location and would be keeping with the character and appearance of the existing school site and the surrounding area.

Access:

Concerns were raised that the scheme results in the loss of an emergency access serving the rear of the school playing field. Whilst this was not identified on earlier plans, revised plans have been submitted that show the provision of an improved emergency services access between the Resource Centre building and the Early Years centre.

Security:

Given the nature of the proposed development, it is recommended that a condition relating to Secured by Design is added should approval be granted.

#### **7.12 Disabled access**

The scheme would provide for a fully wheelchair accessible building, which the Council's Access Officer considers to be exemplary in terms of access and inclusive design. Level access is provided from the buildings to the external areas and to the car park. Disabled WC facilities will be provided and all new doors and finishes will fully comply with Part M of the Building Regulations. The new building provides for improved access arrangements compared to the existing arrangement and provides the required level of car parking bays designed for wheelchair users.

Accordingly the scheme is considered to be consistent with Policies R16 and AM15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **7.13 Provision of affordable & special needs housing**

No residential units are proposed as part of this application. As such, this is not relevant to the application.

#### **7.14 Trees, landscaping and Ecology**

A number trees in and around the site, including most of those along the site boundaries, which are particularly important to the visual amenity of the site, would be retained. It is necessary to remove a number of trees to enable the development, especially the sensory garden to the south of the building.

The majority of the trees to be retained are those along the boundaries of the site. These trees will assist in the screening of the building from the wider area and from the residential properties to the north of the site. The proposed tree planting across the site would be along the southern boundary of the site, which would serve to screen the sensory garden from the playing field and vice versa.

Conditions are recommended to ensure that the tree protection and new landscaping is carried out.

#### **7.15 Sustainable waste management**

The plans indicate that shared refuse storage facilities will be provided adjacent to the existing Early Years and Children's Centre. The proposed facilities are considered to be acceptable in this instance.

#### **7.16 Renewable energy / Sustainability**

Policy 5.2 of the London Plan (July 2011) requires development proposals to make the fullest contribution possible to reducing carbon emissions. In accordance with this policy the applicant has submitted an Energy Statement and a Sustainability Checklist to demonstrate how the London Plan objectives will be met. In addition to energy efficient building measures such as ensuring the building is well insulated, use of under floor heating, energy efficient lighting, energy efficient boiler and similar, photovoltaic panels would be provided on the roof of the building to provide a portion of the site's energy needs through the use of a renewable energy. These measures would achieve Part L of the Building Regulations.

#### **7.17 Flooding or Drainage Issues**

A small portion of the site falls within Flood Zone 2, however, no buildings are proposed on this area of the site, and no buildings currently exist on this portion of the site. As such, no issues relating to flooding have been identified.

London Plan policy 5.13 states that development proposals should use sustainable urban drainage systems (SUDS) unless there are good reasons for not doing so. A condition is recommended to ensure such a system is put in place, which would also serve to reduce any potential flooding impacts on the small portion of the site identified within Flood Zone 2.

#### **7.18 Noise or Air Quality Issues**

Noise:

It is not considered that the proposed development would result in any increased noise levels over and above the existing use of the site. Notably, officers in the Council's Environmental Protection Unit have raised no objections in this respect.

Air Quality:

Officers in the Council's Environmental Protection Unit have confirmed that no objections are raised on air quality grounds.

#### **7.19 Comments on Public Consultations**

The concerns raised by objectors have been addressed in the report, with the exception of the affect on property values and loss of views, which are not material planning considerations. With respect to point (ii) of the petition, revised plans were submitted which are considered to address the issue of egress and emergency access to Deansfield Primary School.

#### **7.20 Planning obligations**

The Council has agreed that a contribution of £10,000 would be to be paid to Deansfield Primary School for the loss of playing field. This contribution would go towards the provision of sports equipment, including (but not limited to) goal posts, line painting, netball hoops, rounder s equipment (including posts, bats and balls), training bibs, football, rugby and netball training/coaching kits and the provision of a long jump and sandpit, together with indoor sports equipment. This would be secured via a Statement of Intent, or other legal mechanism.

As the development is for educational use it would not necessitate a contribution towards the Mayoral Community Infrastructure Levy.

#### **7.21 Expediency of enforcement action**

No enforcement action is applicable in this instance.

#### **7.22 Other Issues**

Contamination:

Although it does not appear as though the site has had a contaminative use before the school was built, officers in the Council's Environmental Protection Unit have advised that any asbestos in the existing building is required to be removed in accordance with the correct guidelines. In addition, it is considered that a condition should be imposed ensuring any imported soils are free from contamination.

#### **8. Observations of the Borough Solicitor**

None.

#### **9. Observations of the Director of Finance**

None.

#### **10. CONCLUSION**

The proposed development is considered to fully comply with local, regional and national planning policies relating to the provision of new and/or enhanced educational facilities. No objections are raised to the small loss of playing field space which would occur as a result of the proposal, subject to a contribution to sports equipment being paid to Deansfield Primary School.

The proposed development is considered to be in keeping with the character and appearance of the school site would not have any significant detrimental impact on the visual amenities of the surrounding area. It would not have any significant detrimental impact on the amenity of the nearest residential occupants and would not result in such an increase in traffic or parking demand such that it would have an unacceptable impact on the surrounding road network sufficient to justify refusal.

The applicant has demonstrated that the proposal will achieve high levels of accessibility and London Plan standards relating to sustainability and carbon reductions have been achieved.

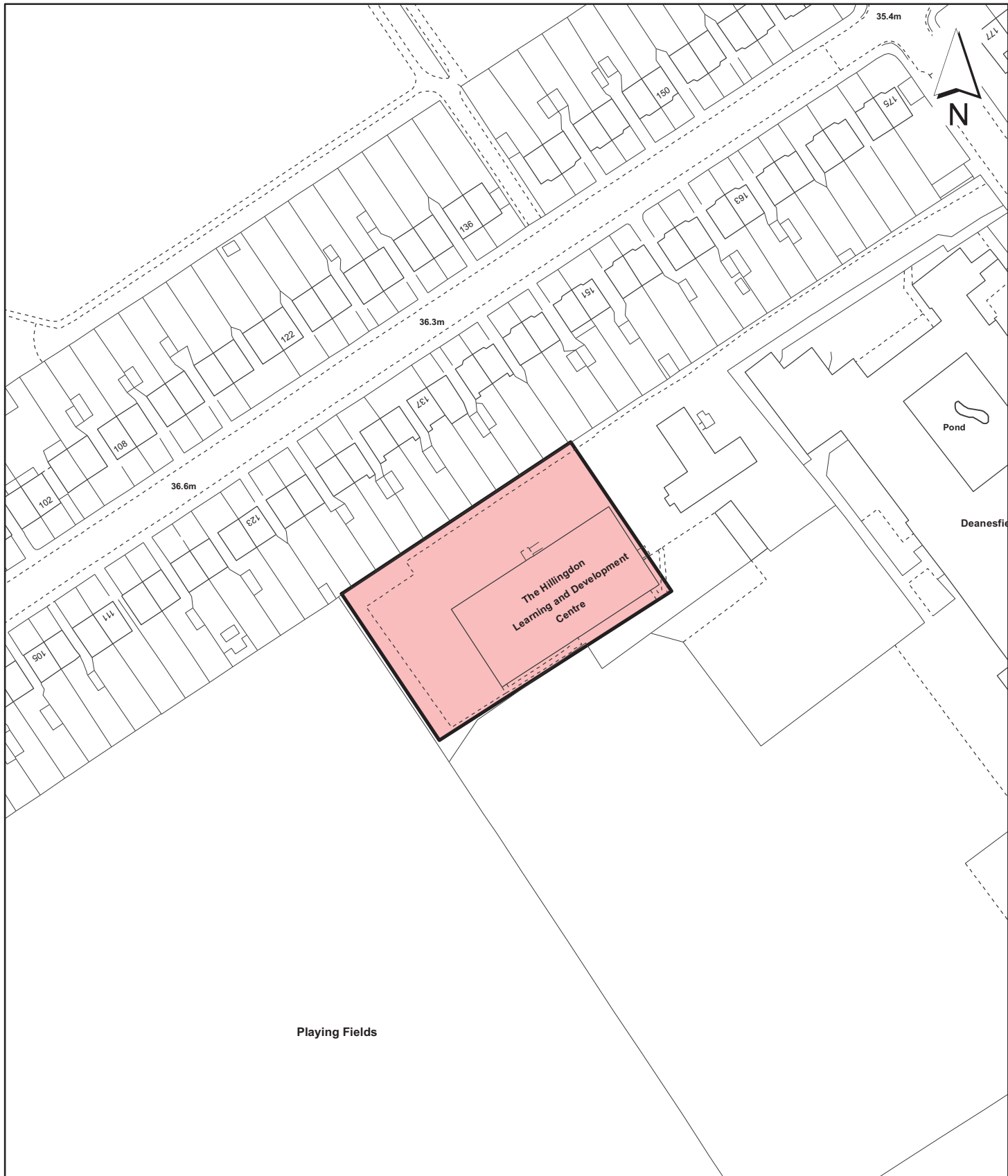
In view of the above, the proposal is considered to comply with relevant national, regional and local planning policy and, as such, approval is recommended, subject to referral of the application to the National Planning Casework Unit and to the Mayor of London.

## **11. Reference Documents**

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)  
Policy Statement - Planning for Schools Development (DCLG, 15/08/11)  
London Plan (July 2011)  
National Planning Policy Framework  
Hillingdon Supplementary Planning Document - Accessible Hillingdon  
Hillingdon Supplementary Planning Document - Air Quality  
Hillingdon Supplementary Planning Guidance - Community Safety by Design  
Hillingdon Supplementary Planning Guidance - Noise  
Hillingdon Supplementary Planning Guidance - Land Contamination

**Contact Officer:** Adam Flynn

**Telephone No:** 01895 250230



**Notes**

 Site boundary

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Site Address

**Queens Walk Resource Centre  
Queens Walk  
Ruislip**

Planning Application Ref:

**12059/APP/2012/2570**

Planning Committee

**Major Applications**

Scale

**1:1,250**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

# Plans for Major Applications Planning Committee

13th June 2013



HILLINGDON  
LONDON



INVESTOR IN PEOPLE

**Report of the Head of Planning, Sport and Green Spaces**

**Address** STOCKLEY PARK GOLF COURSE STOCKLEY ROAD WEST DRAYTON

**Development:** Erection of lightweight open fronted driving range enclosure

**LBH Ref Nos:** 37850/APP/2012/2732

**Date Plans Received:** 05/11/2012

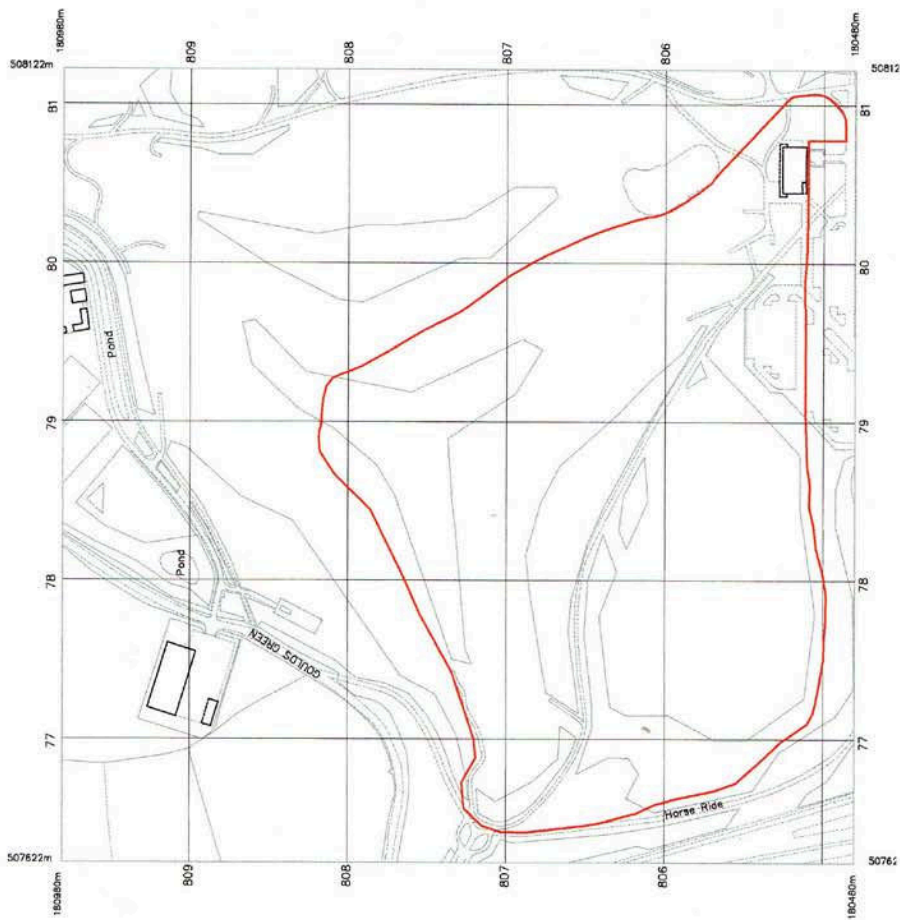
**Date(s) of Amendment(s):**

**Date Application Valid:** 26/03/2013



TO BE READ IN CONJUNCTION WITH  
 WELER DESIGNS LTD.  
 PROPOSED LANDSCAPE PLAN  
 DRAWING No. 2002.01 REV B

Indicative site area of proposed works



01 LOCATION PLAN  
 001 1:2500 @ A3



NO.	DATE	BY	CHKD	APP'D	DESCRIPTION

**evans architecture**  
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 HILTINGDON LB11  
 UK  
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 Email: info@evansarchitect.com

Project: STOCKLEY PINES  
 HILTINGDON LB11  
 Title: LOCATION PLAN  
 Date: 13/09 @ A3  
 Scale: 1:2500 @ A3

Sheet P

TO BE READ IN CONJUNCTION WITH  
 WELLS DESIGNS LTD  
 PROPOSED LANDSCAPE PLAN  
 DRAWING No. 2002.01 REV B



01 PROPOSED DRIVING RANGE COVERED AREA LOCATION PLAN  
 1:1250 @ A3

NO.	DATE	BY	CHKD	SCALE	DESCRIPTION
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2	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
3	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
4	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
5	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
6	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
7	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
8	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
9	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING
10	15/01/20	WJ	WJ	1:1250	ISSUED FOR PERMITTING



Project: STOCKLEY PINES  
 HULLINGDON URF11  
 Date: 12/09/2018

WELLS architecture  
 100 Church Street  
 LONDON  
 W1A 1QY  
 Tel: 020 7499 0400  
 Email: info@wellsarchitect.com

Scale: 1:1250 @ A3

01 PROPOSED DRIVING RANGE COVERED AREA LOCATION PLAN

1:1250 @ A3

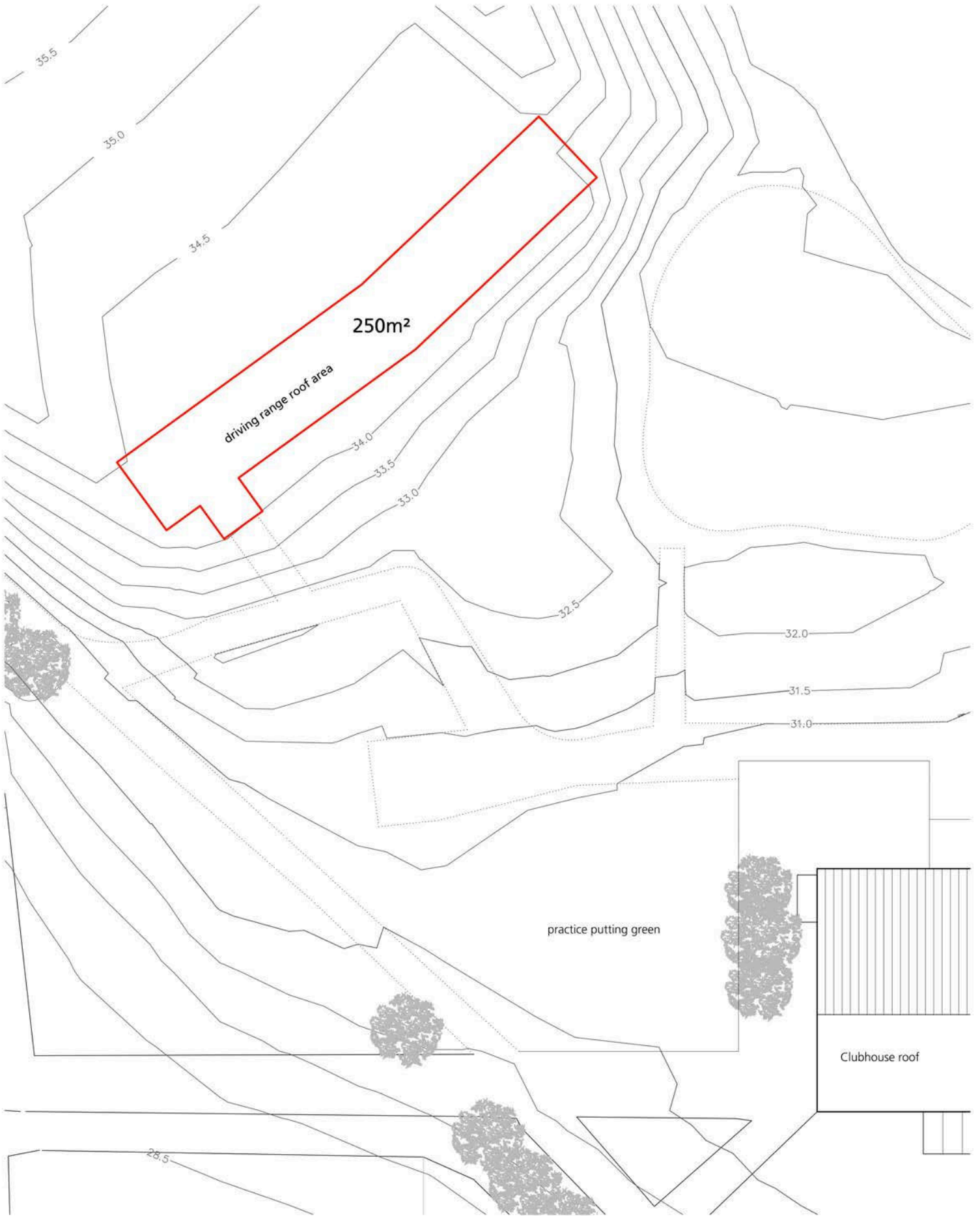
15/01/20

15/01/20

15/01/20

15/01/20

15/01/20



**01** CONTEXT PLAN OF PROPOSED DRIVING RANGE  
 122 1:250 @ A3

— Indicative site area of proposed works



Rev	Date	Description	By	Chk
P1	08.10.12	Issued for Planning	AM	JS
P2	16.12.12	Site area of proposed works demarcated & area of enclosure added. Issued for Planning	JK	JS

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Project: STOCKLEY PINES  
 GOLF COURSE  
 HILLINGDON UB11

Title: CONTEXT PLAN OF  
 PROPOSED DRIVING RANGE

Scale: 1:250 @ A3

Dwg No: 194-122 Rev: P2



01 EXISTING CLUBHOUSE CONTEXT PLAN EAST & NORTH  
 004 1:250 @ A3



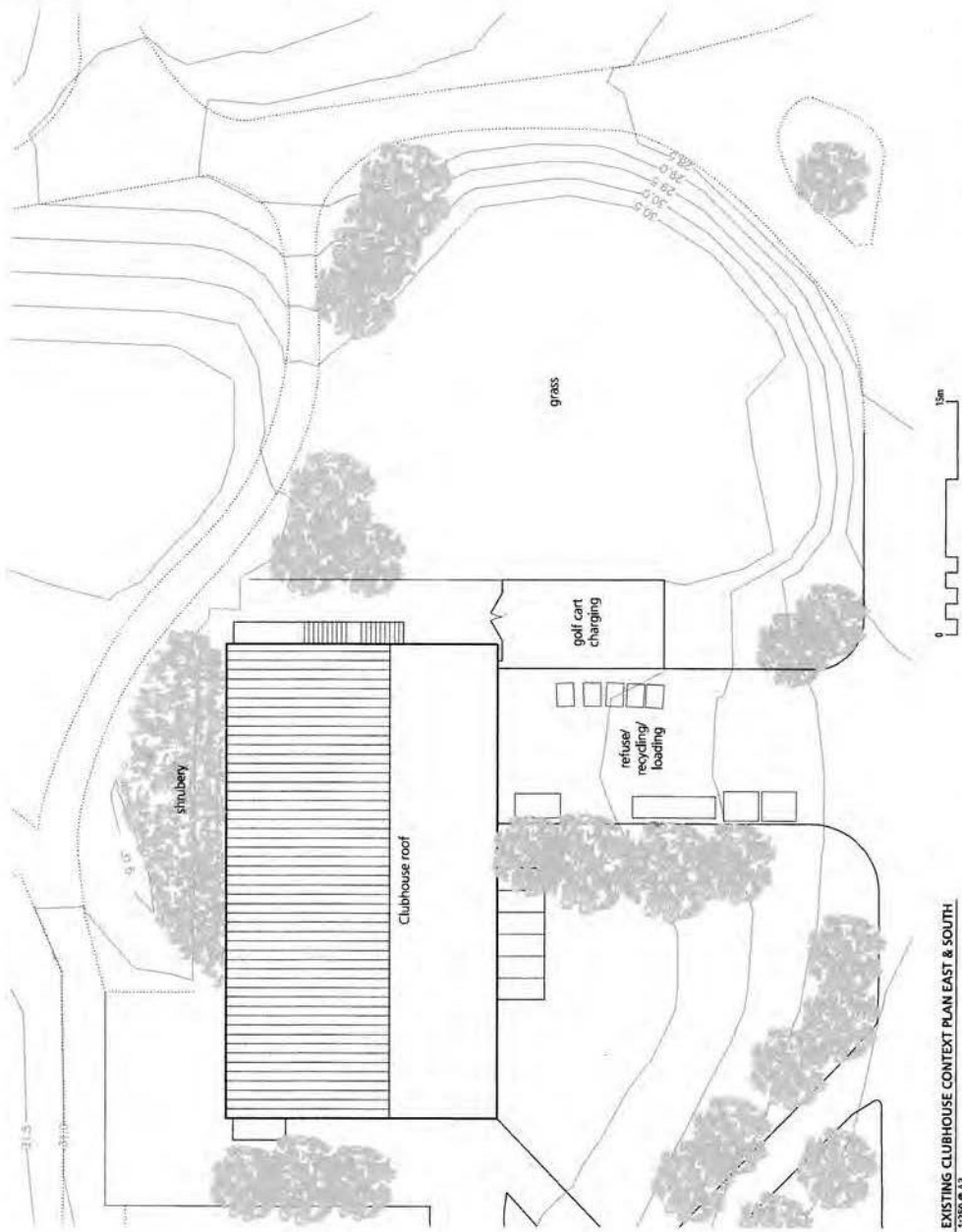
Rev	Date	Description	By	Chk
01	05/28/12	Issue for Planning	AM	RS

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 email: studio@mekarchitecture.com

Project: STOCKLEY PINES GOLF COURSE HILLINGDON UB11  
 Title: EXISTING CLUBHOUSE CONTEXT PLAN EAST & NORTH  
 Scale: 1:250 @ A3  
 Dwg No: 194-004  
 Rev: P1

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01 EXISTING CLUBHOUSE CONTEXT PLAN EAST & SOUTH  
1250 @ A3

NO.	REV.	DESCRIPTION	DATE

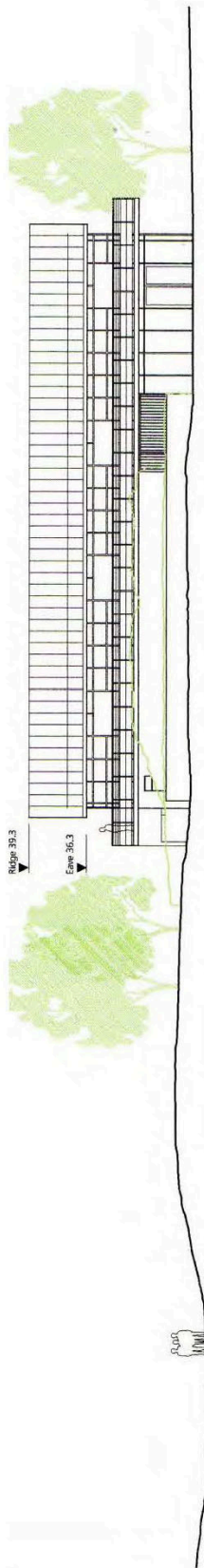
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 email: info@m&aarchitecture.com

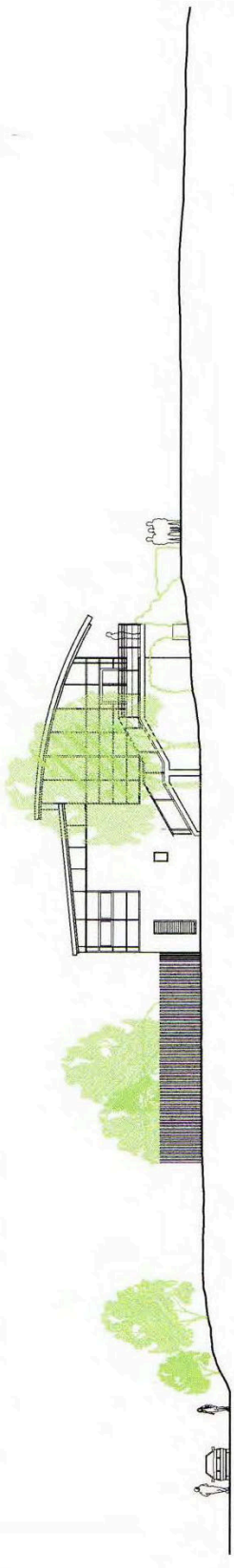
PROJECT: STOCKLEY PINES  
 EAST & SOUTH  
 HILLINGDON UBT11

SCALE: 1:250 @ A3

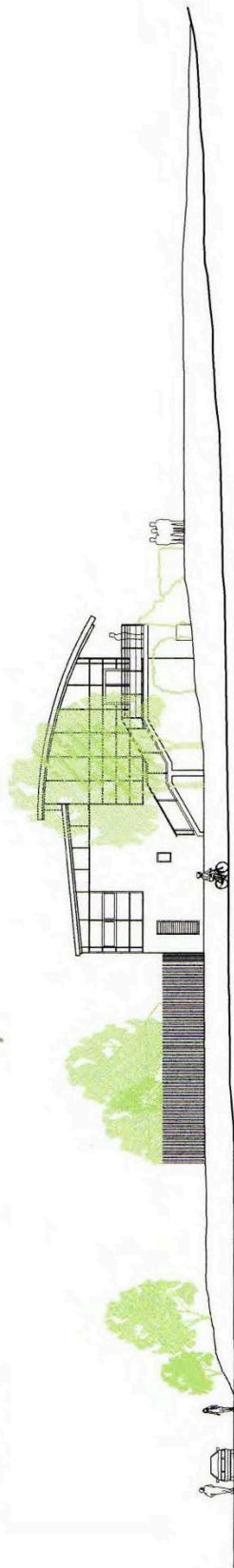
TITLE: EXISTING CLUBHOUSE CONTEXT PLAN  
 EAST & SOUTH  
 PROJECT NO: 194-003  
 DATE: P1



01 EXISTING NORTH ELEVATION OF CLUBHOUSE  
005 1:200 @ A3



02 EXISTING WEST ELEVATION OF CLUBHOUSE  
005 1:200 @ A3



03 EXISTING WEST ELEVATION OF CLUBHOUSE  
005 1:200 @ A3

STOCKLEY PINES GOLF COURSE HILLINGDON UB11

Project: STOCKLEY PINES GOLF COURSE HILLINGDON UB11

Scale: 1:200 @ A3

Sheet: 144-005

Issue: P1

0 5m

No.	Date	By	Check	Scale	Description
001					
002					
003					
004					
005					

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100 Old Oak Road  
London, UK  
Tel: 020 7466 3369  
Email: info@stockleypines.com

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OPTION C

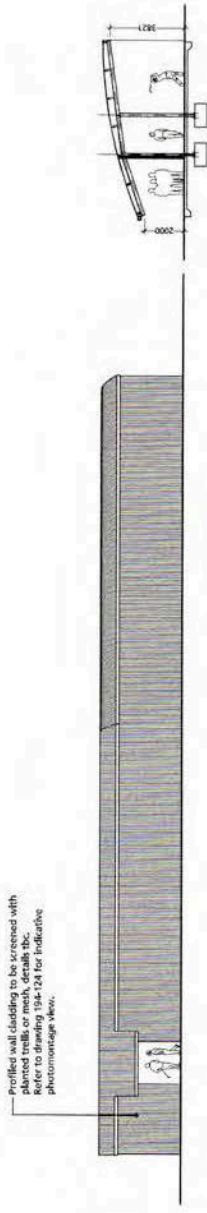
This is a dimensionally modified version of the Global Ranges design (drg No.00055-1) showing a 3.1m bay width instead of 3.4m & a 4.2m height instead of 4.5m. The teaching bay deleted in order to fit existing driving range landscaping banking (ref to drg No. 194-105-P1)

Key features:

- Integrated safety nets between bays
- MM10 Steel roof sheeting
- Colour RAL 7047 Trafficgrey 4 (to be confirmed)
- 80mm thick hotted profiled metal wall panel
- Rapid installation using pre-cast foundations

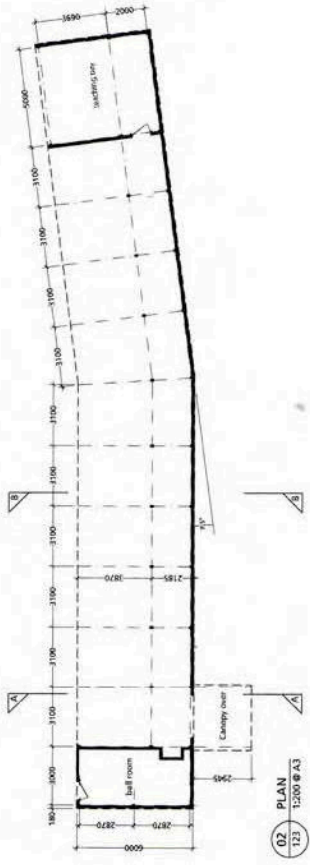
Built-in gutter system

- Height: 4.2m
- Bay width: 3.1m (5.0m for teaching bay)
- Depth: 6m

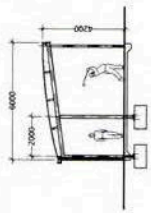


01 SOUTH EAST ELEVATION  
1:200 @ A3

04 SECTION AA  
3x10 1:200 @ A3



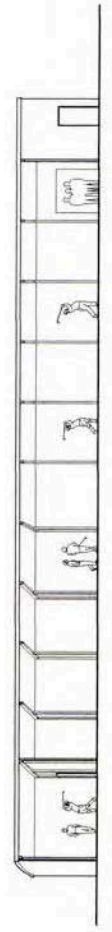
02 PLAN  
1:200 @ A3



05 SECTION BB  
3x10 1:200 @ A3



06 NORTH EAST ELEVATION  
3x10 1:200 @ A3



03 NORTH WEST ELEVATION  
1:200 @ A3



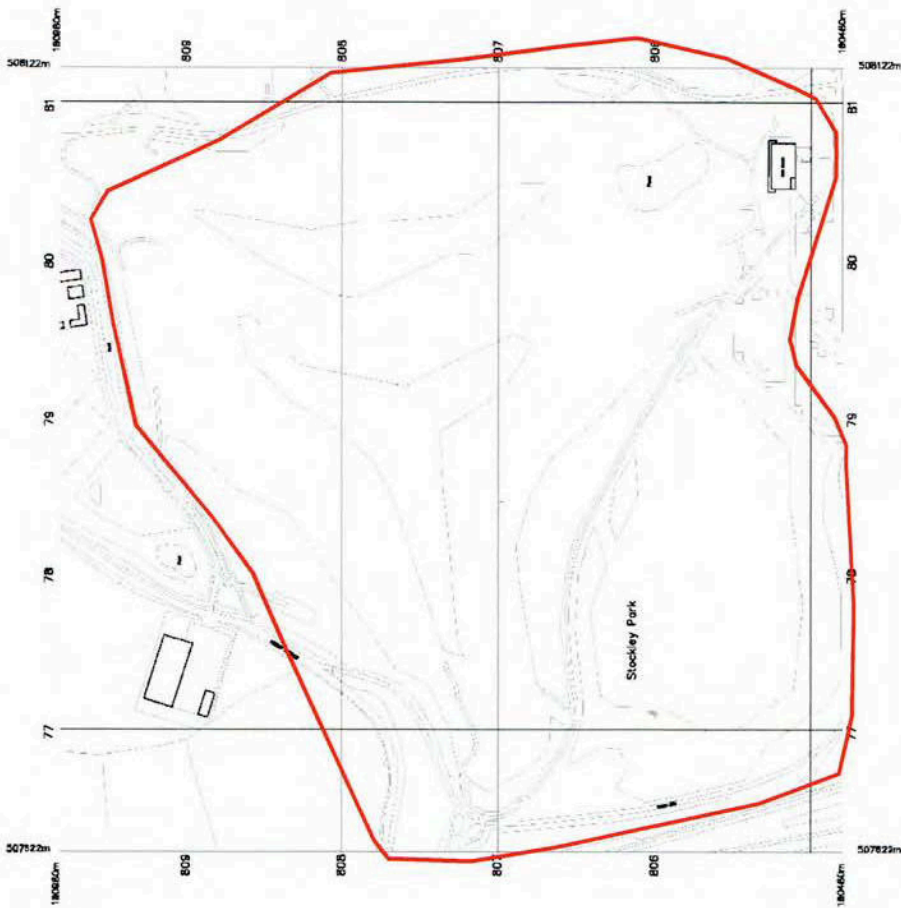
NO	REV	DATE	BY	CHKD	DESCRIPTION

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**Stockley Primes Architecture**  
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 Email: info@stockleyprimes.com

Project: STOCKLEY PRIMES GOLF COURSE HILLINGDON URB11  
 Title: PROPOSED GAMING RANGE PLAN, SECTION & ELEVATIONS  
 Scale: 1:200 @ A3  
 Date: 19-04-123  
 Page: P1

TO BE READ IN CONJUNCTION WITH  
WELLS DESIGNS LTD  
PROPOSED LANDSCAPE PLAN  
DRAWING No. 2022.01 REV 5



LOCATION PLAN  
1:2000 @ A3



Rev	Description	Date	By	App'd	Checked	Drawn	Scale	Sheet	Total
1	Issue for Planning	15/03/21	WJ	WJ	WJ	WJ	1:2000 @ A3	1	1
2	Issue for Construction	15/03/21	WJ	WJ	WJ	WJ	1:2000 @ A3	1	1

**mass architecture**  
100 Queens Road  
Hillingdon, Uxbridge  
Middlesex, U.K.  
Tel: 01895 839208  
www.massarchitecture.co.uk

Project: STOCKLEY PARK  
GOLF COURSE  
HILLINGDON URB11  
Date: 15/03/21  
Scale: 1:2000 @ A3  
Drawing No: 2022.01





01 PROPOSED INDICATIVE VIEW LOOKING NORTH TOWARDS DRIVING RANGE

1/24 1/18 @ A3



02 EXISTING VIEW LOOKING NORTH TOWARDS DRIVING RANGE

1/24 1/18 @ A3



DATE	NO.	DESCRIPTION	BY	CHKD.	DATE	SCALE	DATE

**travis architecture**  
 400 Oak Street  
 Uptown  
 Dallas, TX 75201  
 Phone: (214) 742-1000  
 Email: travis@travisarch.com

Project: STOCKLEY PINES GOLF COURSE  
 HILLINGTON 0811

Scale: 1/8" = 1'-0"

Project No: 156-228

Sheet No: 1/24



01 AERIAL PHOTOGRAPH  
02/17 015 OF 111



View 1: north side of clubhouse

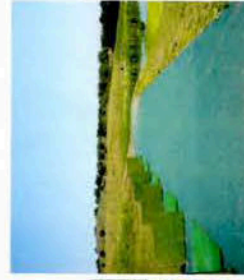
View 2: towards driving range from clubhouse balcony



View 3: towards driving range across practice green



View 4: clubhouse view from driving bays



View 5: driving bays looking north east towards pond



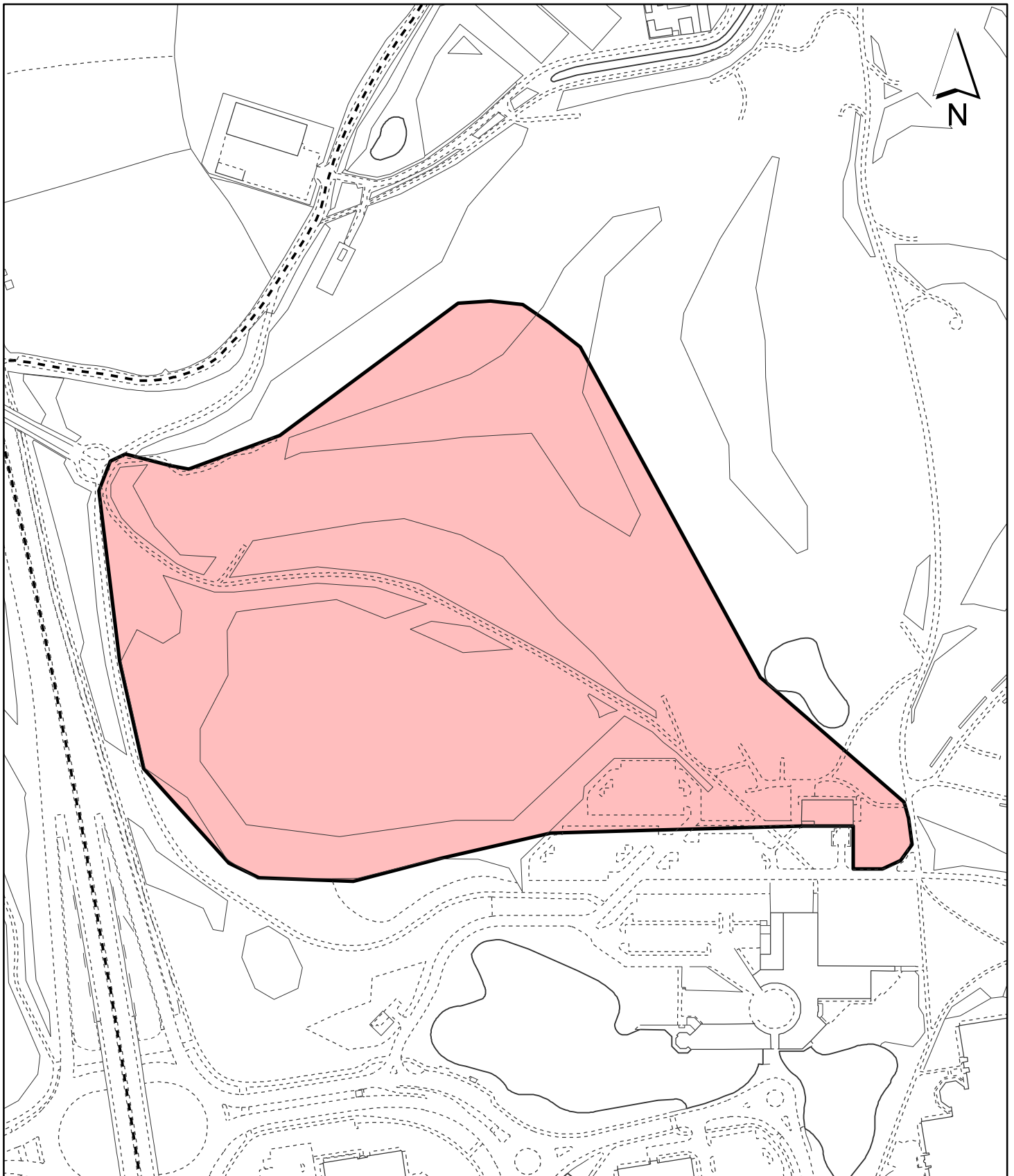
View 6: east side of clubhouse green for marquee area




DATE	BY	REVISION	DATE	BY	REVISION

**max architecture**  
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 10/100 Stockley Pines  
 Project: Stockley Pines Golf Course  
 10/100 Stockley Pines  
 Project: Stockley Pines Golf Course

PROJECT: STOCKLEY PINES GOLF COURSE  
 MILLINGTON U811  
 DATE: 08/17  
 SCALE: 1:154,000  
 SHEET: P1



**Notes**

 Site boundary

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Site Address

**Stockley Park Golf Course  
Stockley Road  
West Drayton**

Planning Application Ref:

**37850/APP/2012/2732**

Scale

**1:3,000**

Planning Committee

**Major Applications**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** 8-12 LEES PARADE UXBRIDGE ROAD HAYES

**Development:** Demolition of warehouse and conversion of and extensions to existing office building to provide a part three, part four storey building containing 14 residential units 3 retail/office spaces (Use Class A1/B1), with associated parking and amenity space.

**LBH Ref Nos:** 1803/APP/2013/733

**Date Plans Received:** 25/03/2013

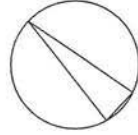
**Date(s) of Amendment(s):** 25/03/2013

**Date Application Valid:** 25/03/2013

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- 3) Any discrepancies or queries are to be resolved before progressing any works on site.
- 4) All works to conform to approved drawings and specification
- 5) This drawing is for planning purposes only. Do not scale from this drawing or use any element for constructional purposes.

UXBRIDGE ROAD A4020



1107-25

16 NOVEMBER 2012  
1:200 @ A3

EXISTING PLAN 1:200

VICTORY HOUSE UB10 0PQ

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**PEGLEY D'ARCY**  
ARCHITECTURE

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PDA-ARCHITECTS LIMITED, COMPANY NO. 07924878, VAT NO. 2748 557363  
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LEES PARADE

13 LEES PARADE  
TILE DEPOT

FORECOURT  
10 parking  
spaces

SHOWROOM

VEHICLE  
ACCESS

FORECOURT

SHOWROOM

OFFICE

7 LEES PARADE

EXISTING ACCESS  
RIGHT OF WAY

46 NICHOLLS  
AVENUE

MEZZANINE OVER

GARAGE AREA

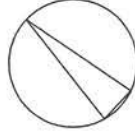
LINE OF  
MEZZANINE OVER

STORAGE

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UXBRIDGE ROAD A4020



**1107-50**

22 MARCH 2013  
1:200 @ A3

**BLOCK PLAN**

**1:200**

**VICTORY HOUSE UB10 0PQ**

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13 LEES PARADE  
TILE DEPOT

LEES PARADE

RETAIL / B1

CYCLES

RETAIL  
BIN STORE

LOBBY

ENTRANCE

4.8m WIDTH VEHICLE ACCESS

Shutter

Canopy over

RETAIL / B1

RETAIL / B1

DISABLED  
PARKING

7 LEES PARADE

FLATS OVER  
14 PARKING SPACES

Shutter

Canopy over

RETAIL / B1

RETAIL / B1

DISABLED  
PARKING

STORAGE

PLANTERS

PLANTERS

PLANTERS

PLANTERS

PLANTERS

PLANTERS

PLANTERS

PLANTERS

EXISTING ACCESS  
RIGHT OF WAY  
(To be confirmed)

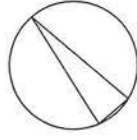
46 NICHOLLS  
AVENUE

SUD TANK  
(14,000 litres)

Retained rear warehouse wall

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1107-26

16 NOVEMBER 2012  
1:100 @ A3

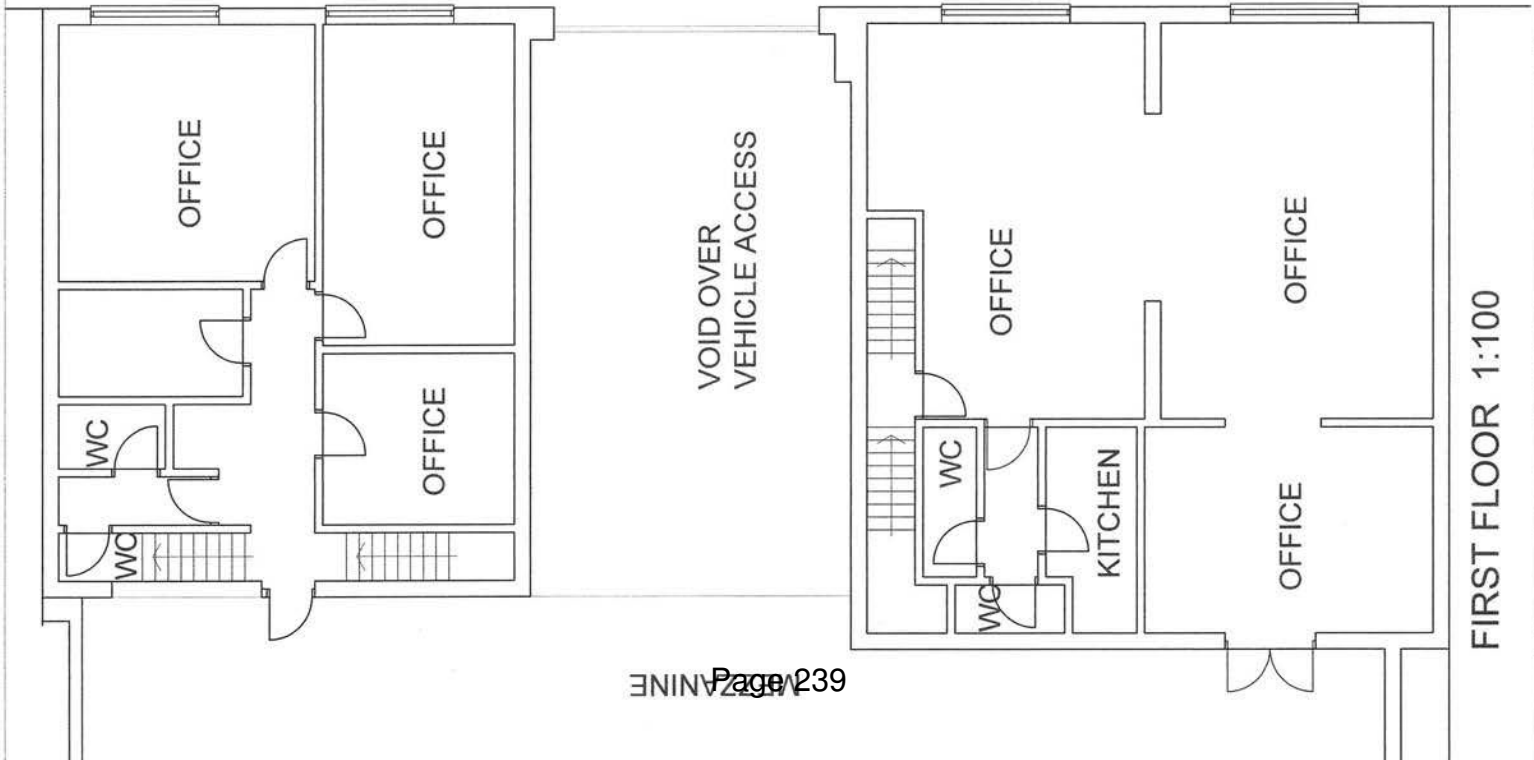
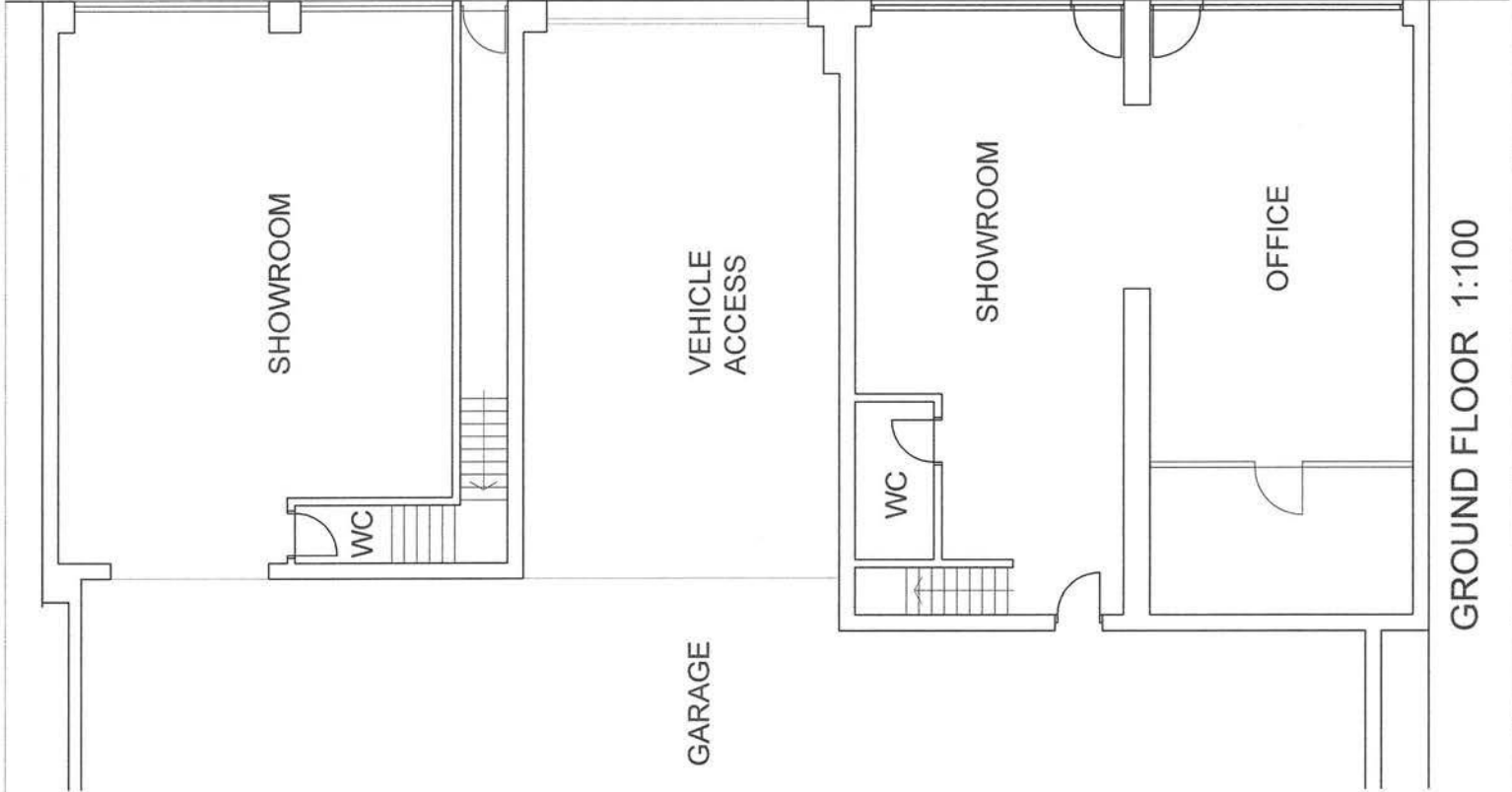
EXISTING PLANS 1:100

VICTORY HOUSE UB10 0PQ

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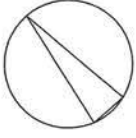
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AMENITY SPACE REQUIREMENTS		Totals
1 BED FLATS	4nr x 20m <sup>2</sup>	80m <sup>2</sup>
2 BED FLATS	10nr x 25m <sup>2</sup>	250m <sup>2</sup>
Units 1, 3, 4, 5, 6, 8, 9, 10, 13, 14		330m <sup>2</sup>
PROVISIONS		
Shared rear terrace deck	340m <sup>2</sup>	
Shared third floor terrace	75m <sup>2</sup>	
Total shared amenity space		415m <sup>2</sup>
Flat 11 terrace	27m <sup>2</sup>	
Flat 12 terrace	29m <sup>2</sup>	
Total private allocation		56m <sup>2</sup>
<b>TOTAL PROVISION</b>		<b>471m<sup>2</sup></b>

**1107-51**

22 MARCH 2013  
1:100 @ A3

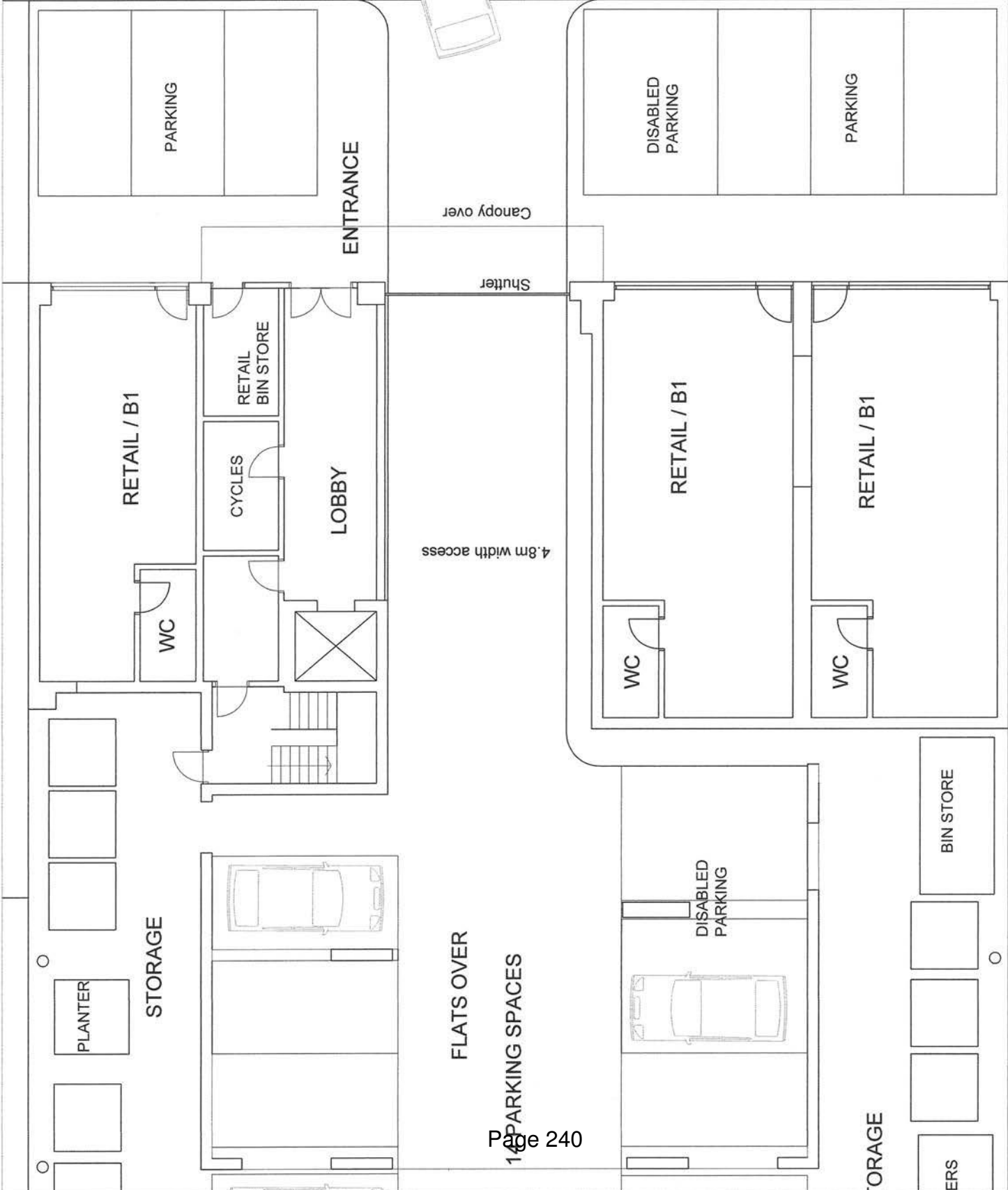
**PROPOSALS 1:100**

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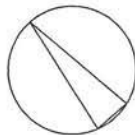
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**FLAT 1**

**FIRST FLOOR LAYOUT**

	GIA	Required Amenity space
FLAT 1	70m <sup>2</sup>	25m <sup>2</sup>
FLAT 2	50m <sup>2</sup>	20m <sup>2</sup>
FLAT 3	80m <sup>2</sup>	25m <sup>2</sup>
FLAT 4	70m <sup>2</sup>	25m <sup>2</sup>
FLAT 5	70m <sup>2</sup>	25m <sup>2</sup>
	340m <sup>2</sup>	120m <sup>2</sup>

**FLAT 2**



**FLAT 3**

**1107-52**

22 MARCH 2013  
1:100 @ A3

**PROPOSALS 1:100**

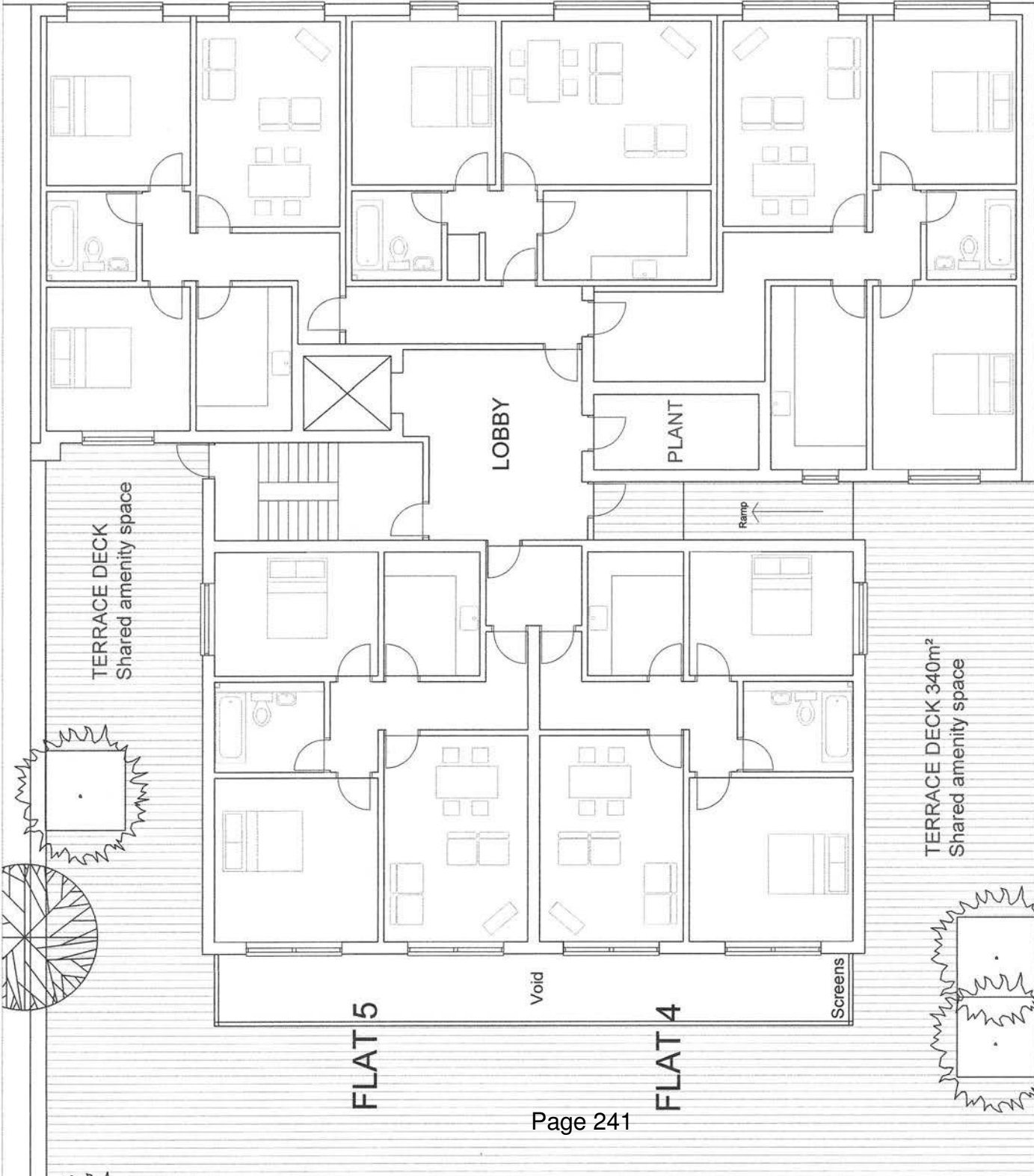
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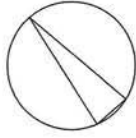
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**FIRST FLOOR 1:100**

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1107-27

16 NOVEMBER 2012  
1:100 @ A3

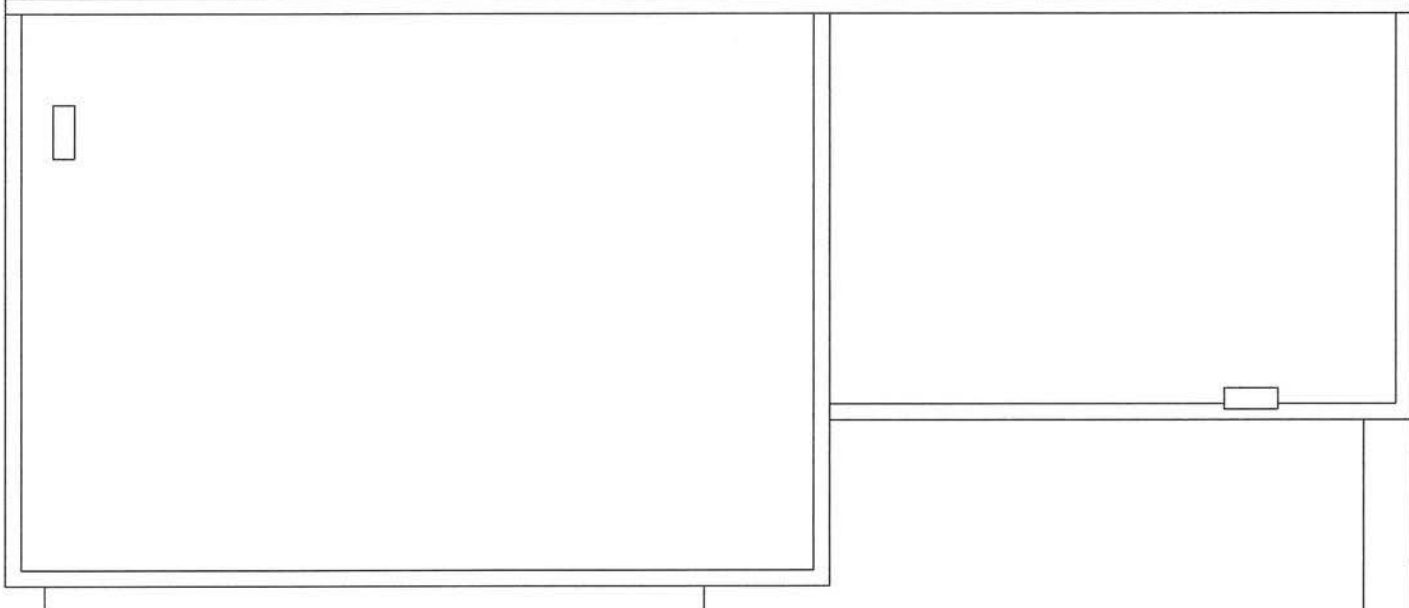
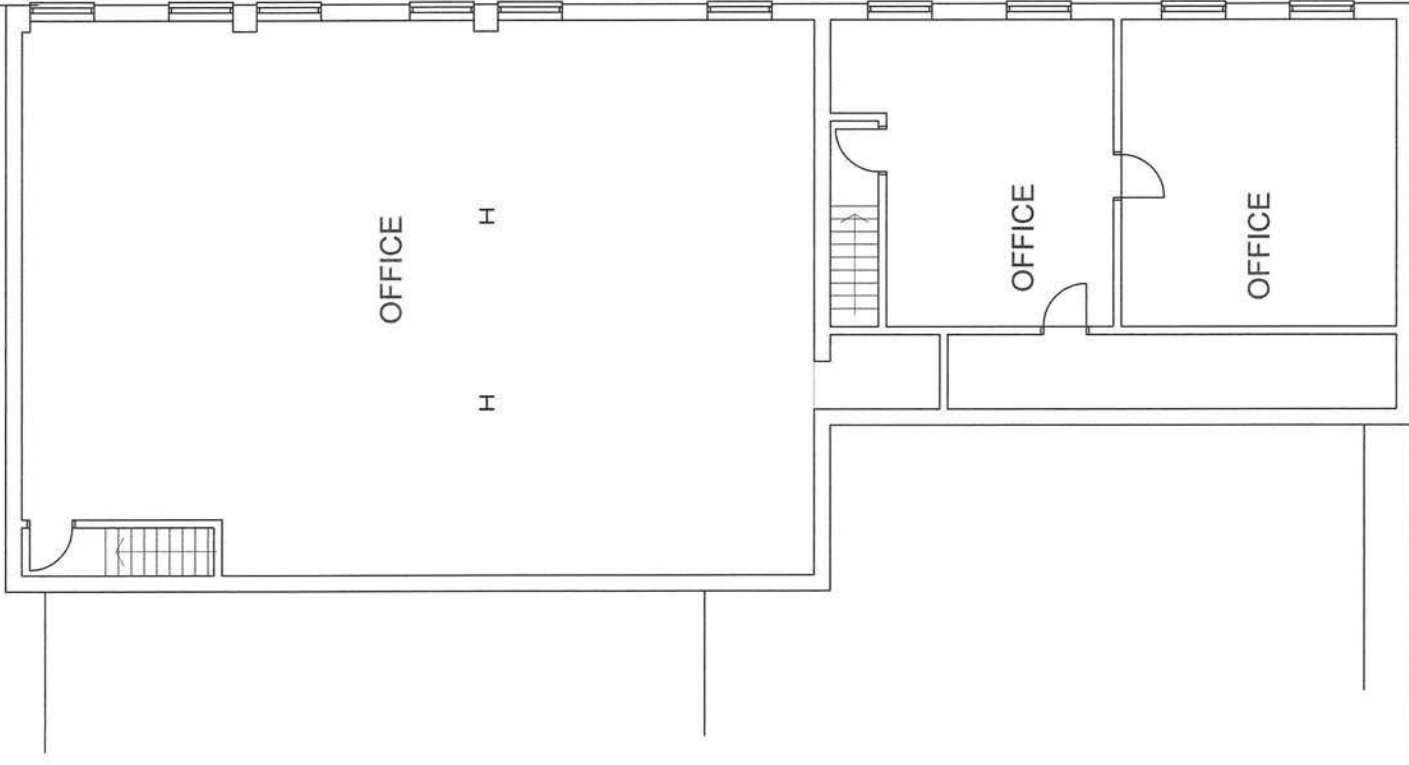
EXISTING PLANS 1:100

VICTORY HOUSE UB10 0PQ

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**FLAT 6**

**SECOND FLOOR LAYOUT**

	Minimum	Amenity space
FLAT 6	2B4P	70m <sup>2</sup>
FLAT 7	1B2P	50m <sup>2</sup>
FLAT 8	2B4P	80m <sup>2</sup>
FLAT 9	2B4P	70m <sup>2</sup>
FLAT 10	2B4P	70m <sup>2</sup>
		340m <sup>2</sup>
		120m <sup>2</sup>

**FLAT 7**

**FLAT 8**

**FLAT 10**

**FLAT 9**

LOBBY

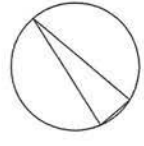
PLANT

Amended window

Amended window

Amended window

New window



**1107-53**

22 MARCH 2013  
1:100 @ A3

**PROPOSALS 1:100**

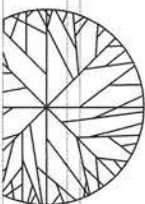
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**SECOND FLOOR 1:100**

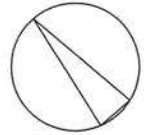


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**THIRD FLOOR LAYOUT**

	Required	Actual
FLAT 11	50m <sup>2</sup>	27m <sup>2</sup>
FLAT 12	56m <sup>2</sup>	29m <sup>2</sup>
FLAT 13	70m <sup>2</sup>	
FLAT 14	70m <sup>2</sup>	
	246m <sup>2</sup>	90m <sup>2</sup>



**1107-54**  
22 MARCH 2013  
1:100 @ A3

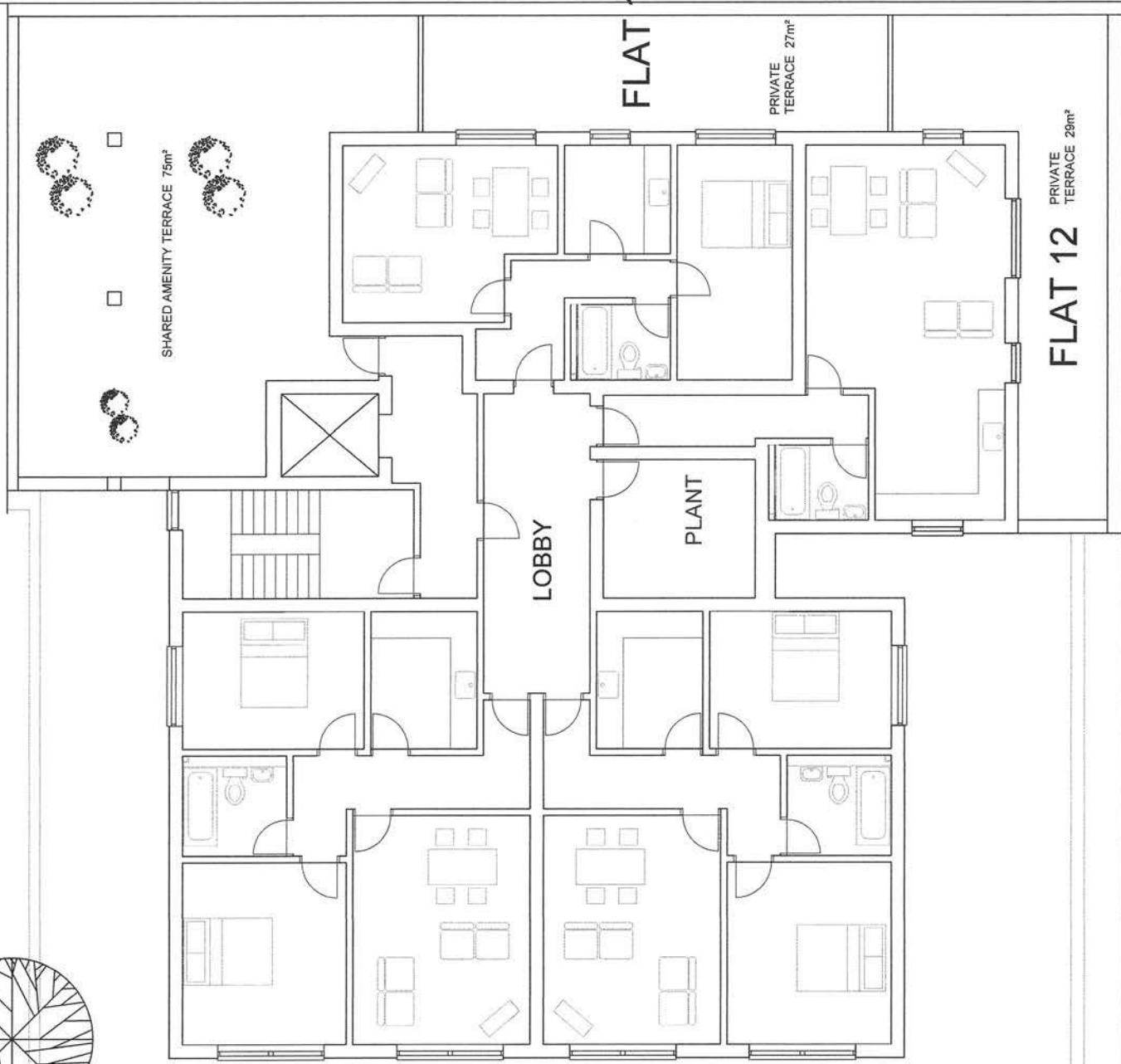
**PROPOSALS 1:100**

**VICTORY HOUSE UB10 0PQ**

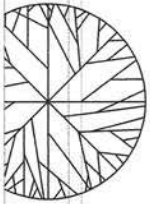
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**THIRD FLOOR 1:100**



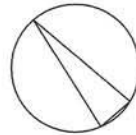
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**ROOF LAYOUT**

**PHOTOVOLTAIC ARRAY  
132 UNITS SET WITHIN 40° OF SOUTH**

**INSTALLING UNITS AT 30° INCLINES, UNITS  
WITH 185 Wp RATINGS PROVIDE A POTENTIAL  
24KW PEAK OUTPUT**



**1107-55**

22 MARCH 2013  
1:100 @ A3

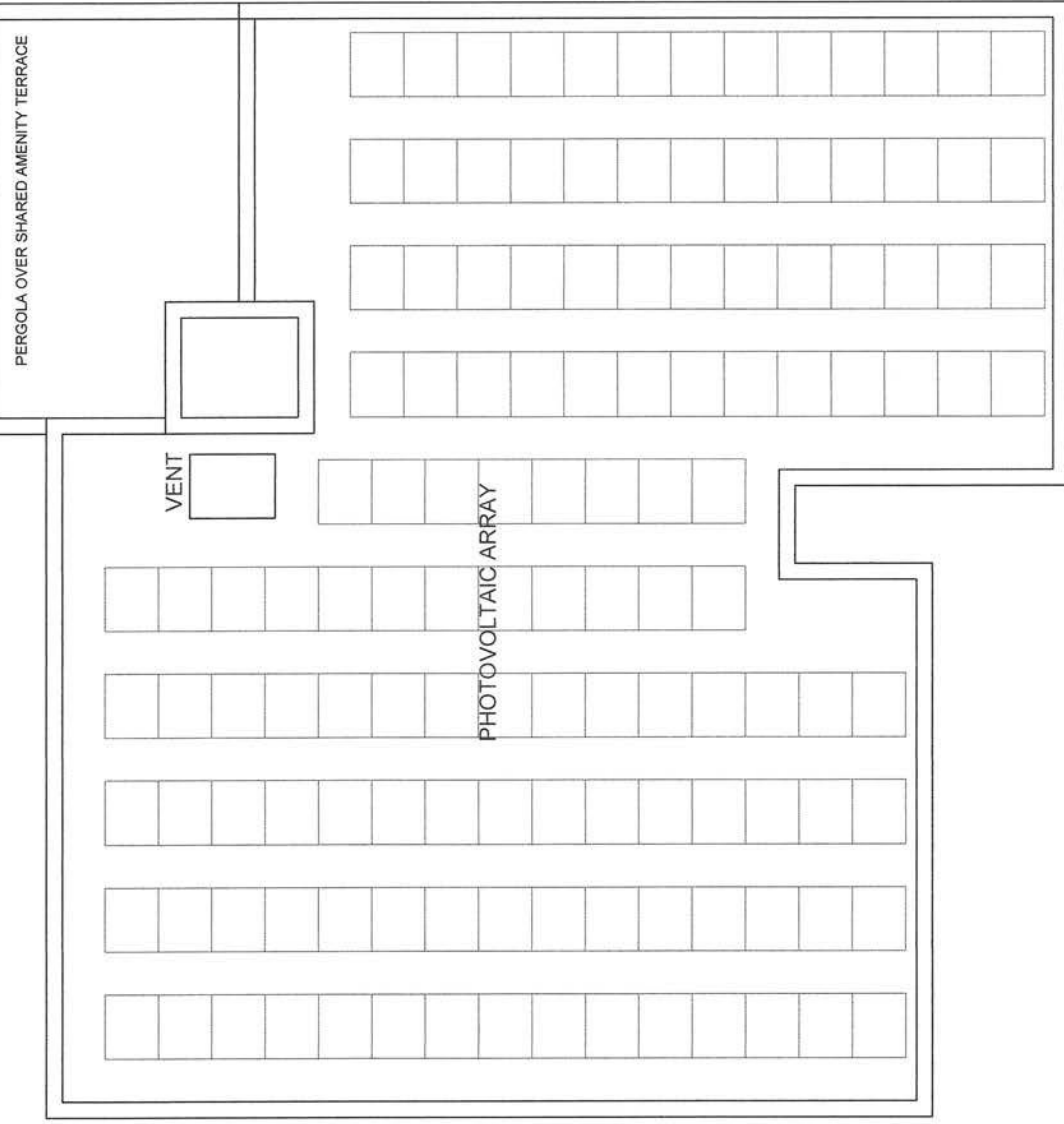
**PROPOSALS 1:100**

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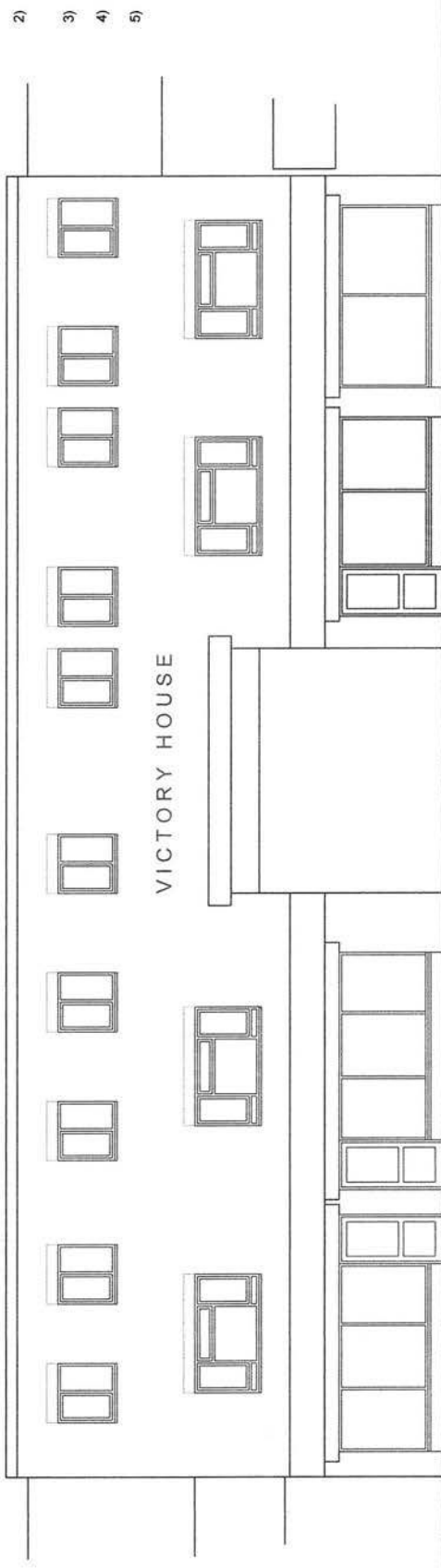
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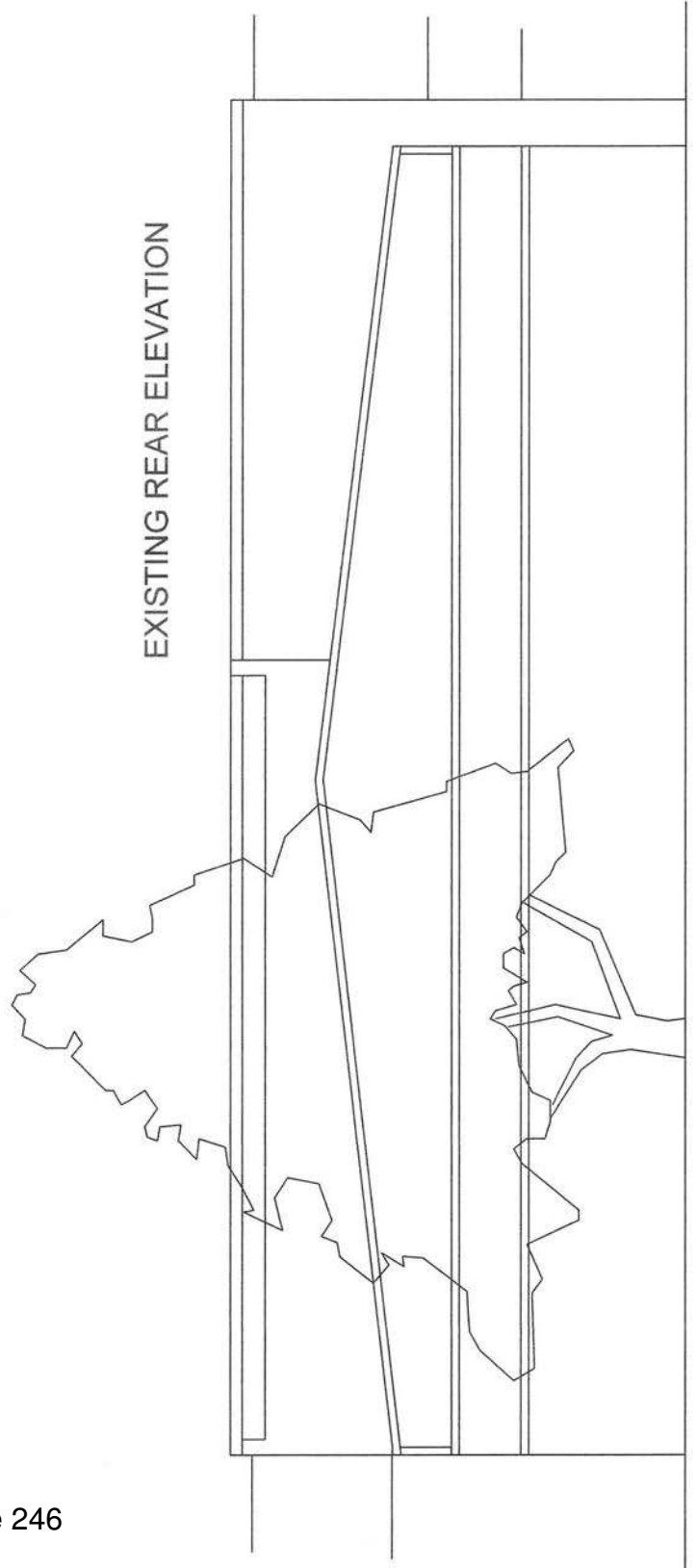
**ROOF PLAN 1:100**

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EXISTING FRONTAGE



EXISTING REAR ELEVATION

1107-28

16 NOVEMBER 2012  
1:100 @ A3

EXISTING ELEVATIONS 1:100

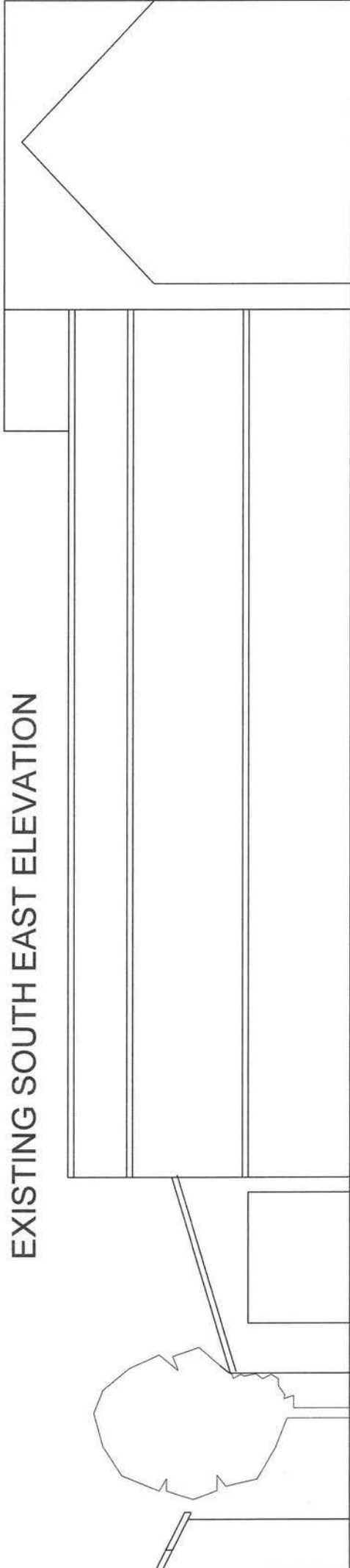
VICTORY HOUSE UB10 0PQ

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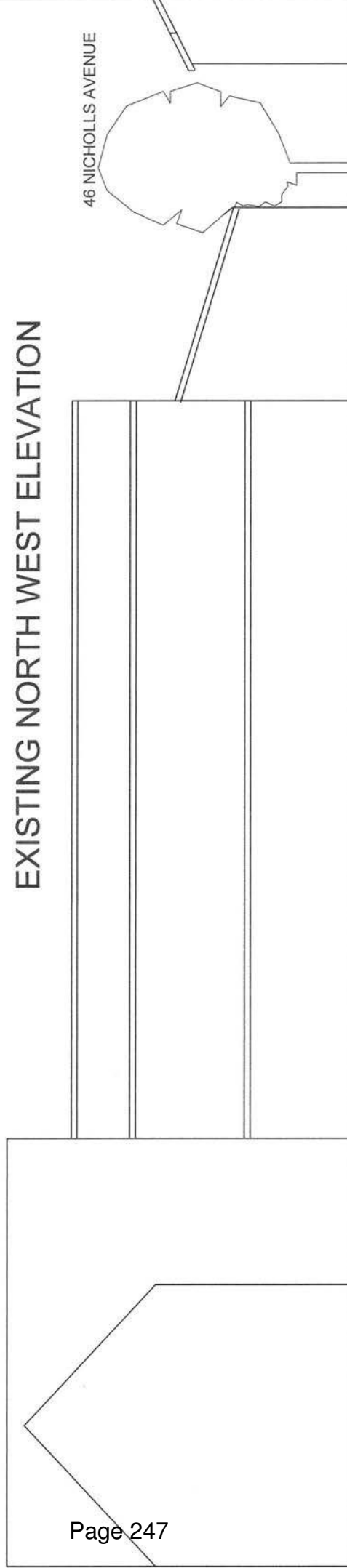
# EXISTING SOUTH EAST ELEVATION



46 NICHOLLS AVENUE

7 LEES PARADE

# EXISTING NORTH WEST ELEVATION



Page 247

46 NICHOLLS AVENUE

TILE DEPOT

1107-29

16 NOVEMBER 2012  
1:100 @ A3

EXISTING ELEVATIONS 1:100

VICTORY HOUSE UB10 0PQ

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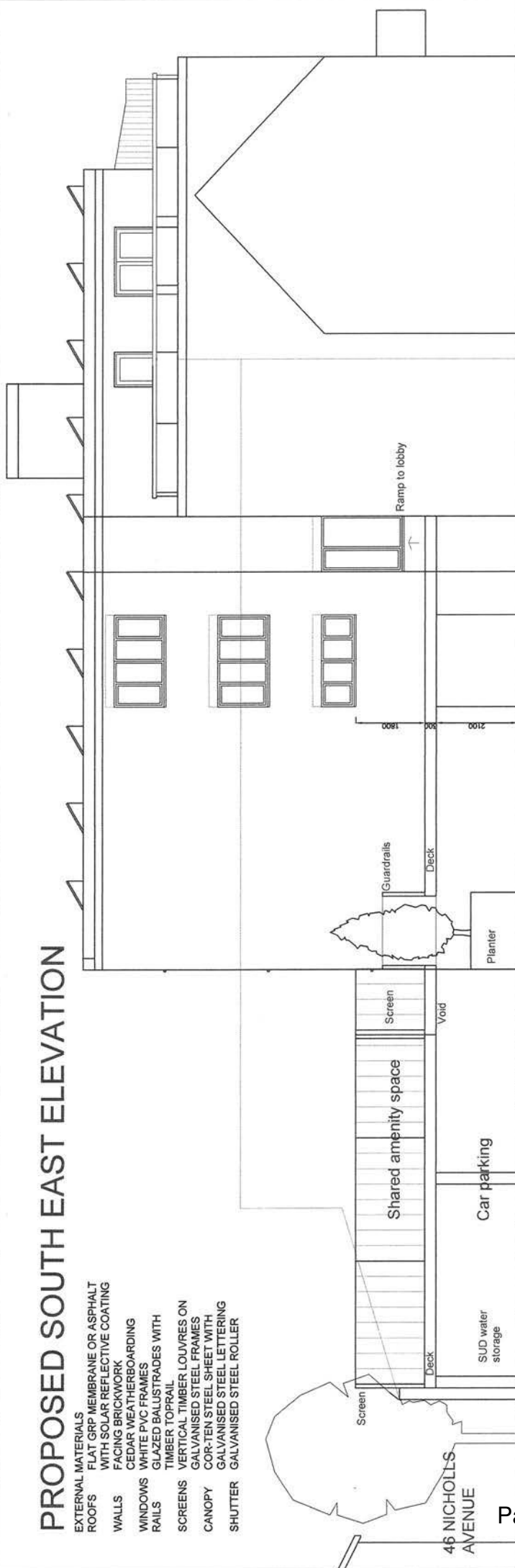
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# PROPOSED SOUTH EAST ELEVATION

- EXTERNAL MATERIALS**
- ROOFS FLAT GRP MEMBRANE OR ASPHALT WITH SOLAR REFLECTIVE COATING
  - WALLS FACING BRICKWORK WITH CEDAR WEATHERBOARDING
  - WINDOWS WHITE PVC FRAMES
  - RAILS GLAZED BALUSTRADES WITH TIMBER TOPRAIL
  - SCREENS VERTICAL TIMBER LOUVRES ON GALVANISED STEEL FRAMES
  - CANOPY COR-TEN STEEL SHEET WITH GALVANISED STEEL LETTERING
  - SHUTTER GALVANISED STEEL ROLLER



46 NICHOLLS AVENUE

7 LEES PARADE

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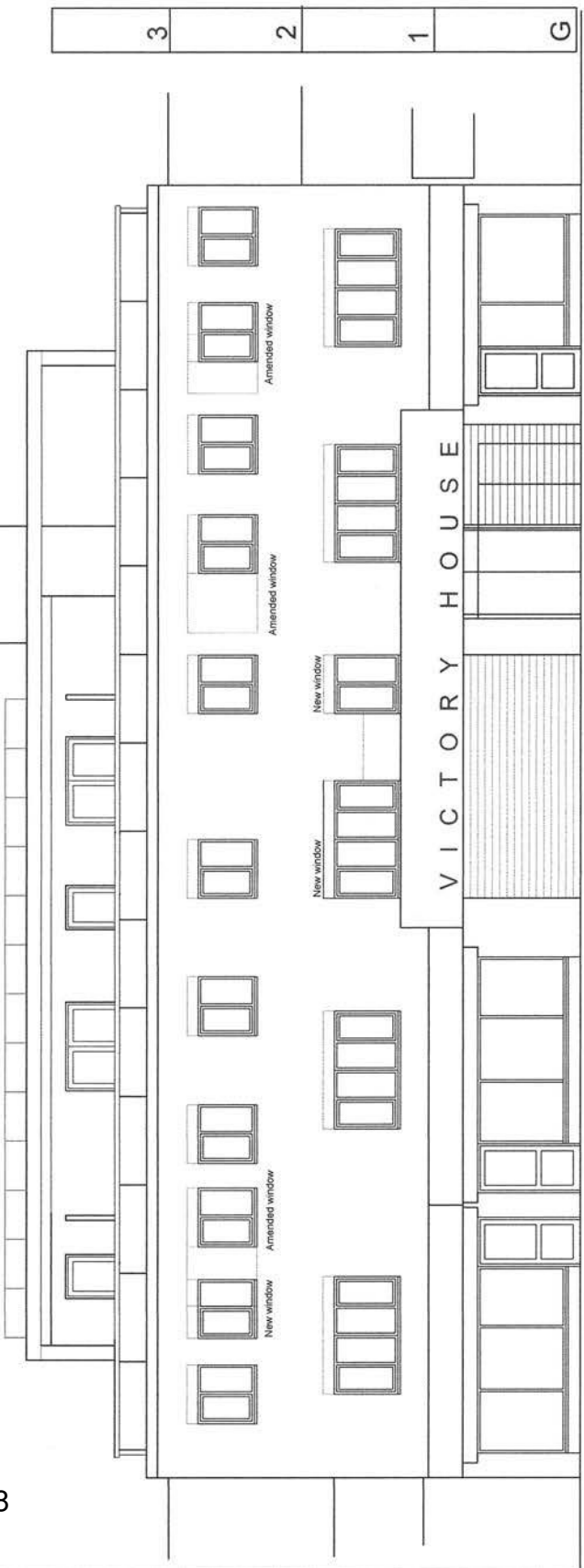
1107-56  
**PROPOSALS 1:100**  
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Solar PV array on flat roof

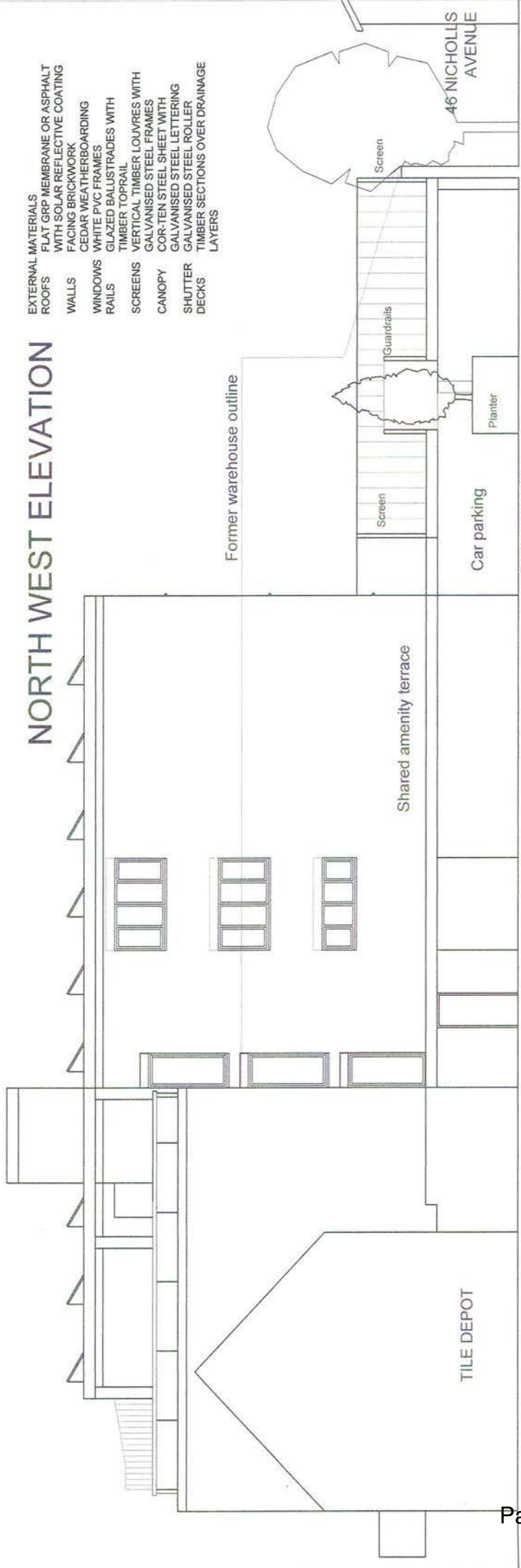


FRONT ELEVATION 1:100

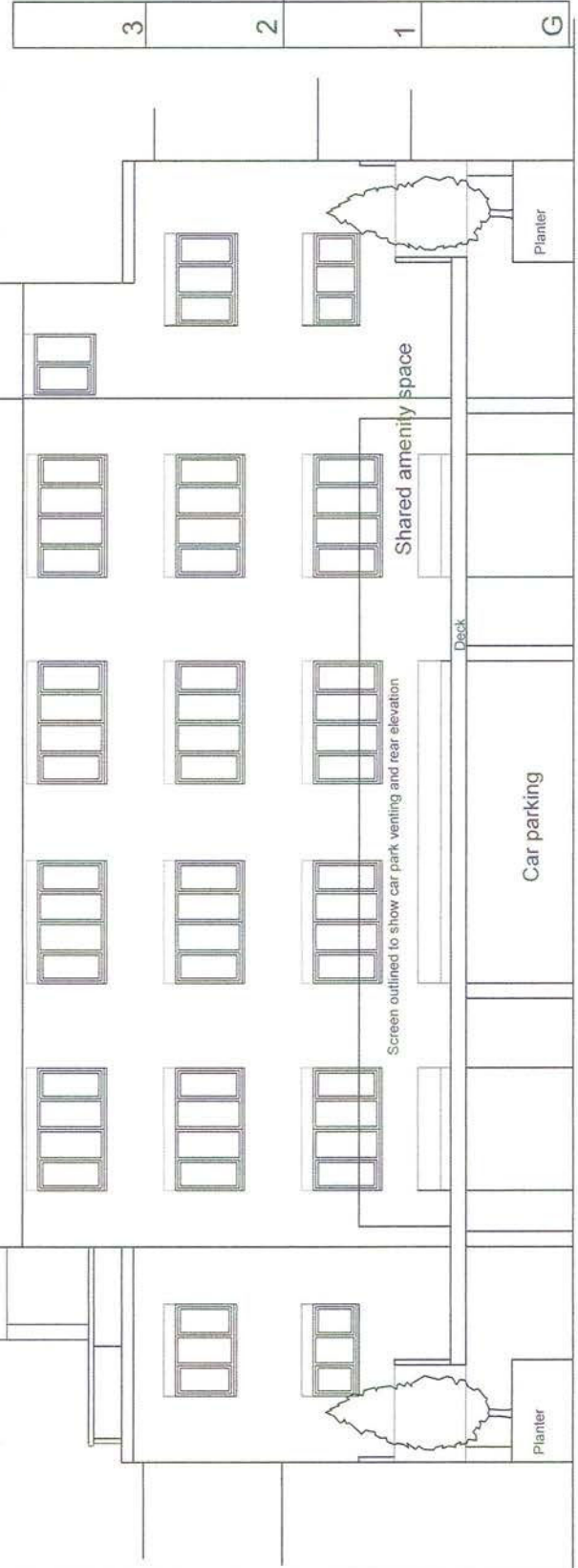


# NORTH WEST ELEVATION

- EXTERNAL MATERIALS
- FLAT GRP MEMBRANE OR ASPHALT WITH SOLAR REFLECTIVE COATING
- FACING BRICKWORK
- CEDAR WEATHERBOARDING
- WHITE PVC FRAMES
- GLAZED BALUSTRADES WITH TIMBER TOPRAIL
- SCREENS
- VERTICAL TIMBER LOUVRES WITH GALVANISED STEEL FRAMES
- CANOPY
- GALVANISED STEEL SHEET WITH COR-TEN STEEL LETTERING
- SHUTTER
- DECKS
- GALVANISED STEEL ROLLER
- TIMBER SECTIONS OVER DRAINAGE LAYERS



# REAR ELEVATION 1:100



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1107-57

PROPOSALS 1:100  
VICTORY HOUSE UB10 0PQ

22 MARCH 2013  
1:100 @ A3

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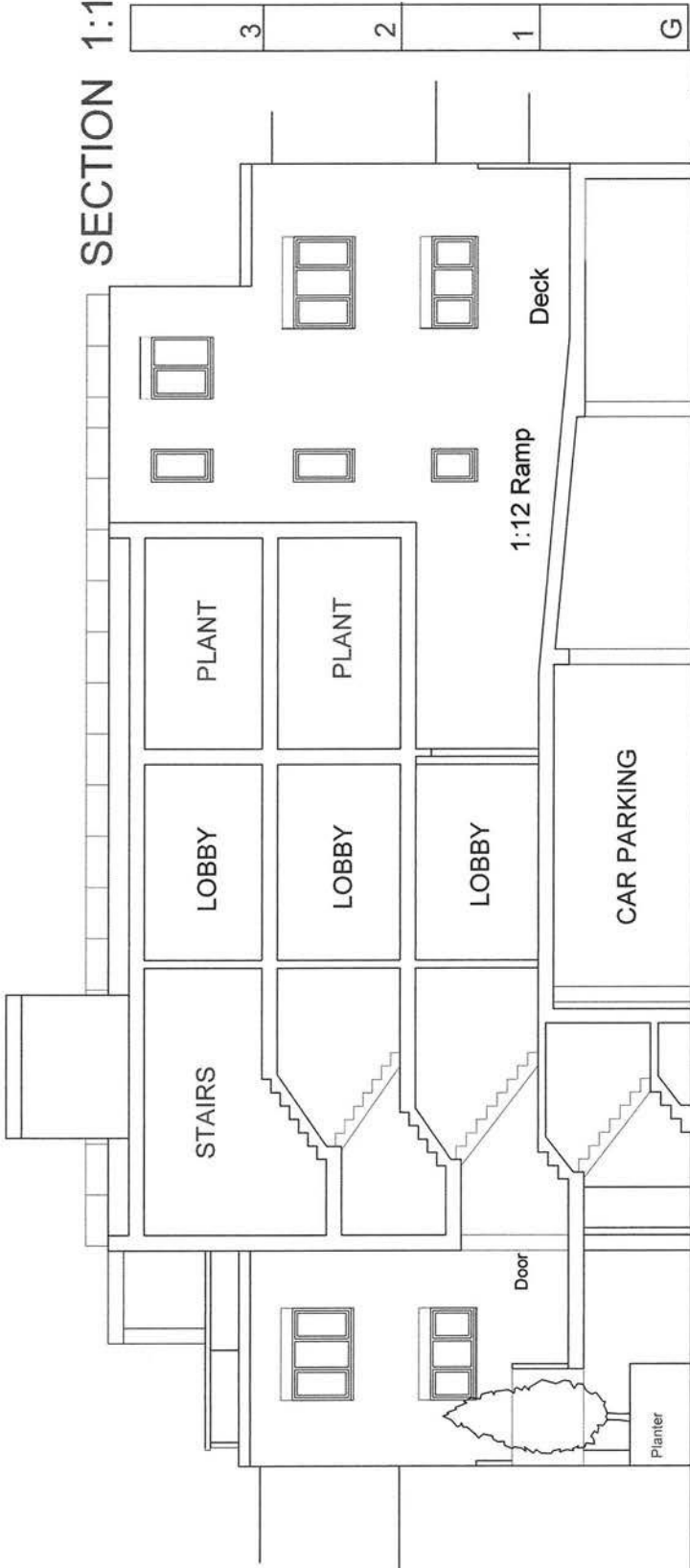


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Retained rear warehouse wall omitted to show decking

Existing concrete slab

SECTION 1:100



Existing concrete slab

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1107-59

25 APRIL 2013  
1:100 @ A3

PROPOSALS 1:100

VICTORY HOUSE UB10 0PQ

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PART FIRST FLOOR 1:100

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**1107-58**

25 APRIL 2013  
1:200 @ A3

**PROPOSALS 1:200**

**VICTORY HOUSE UB10 0PQ**

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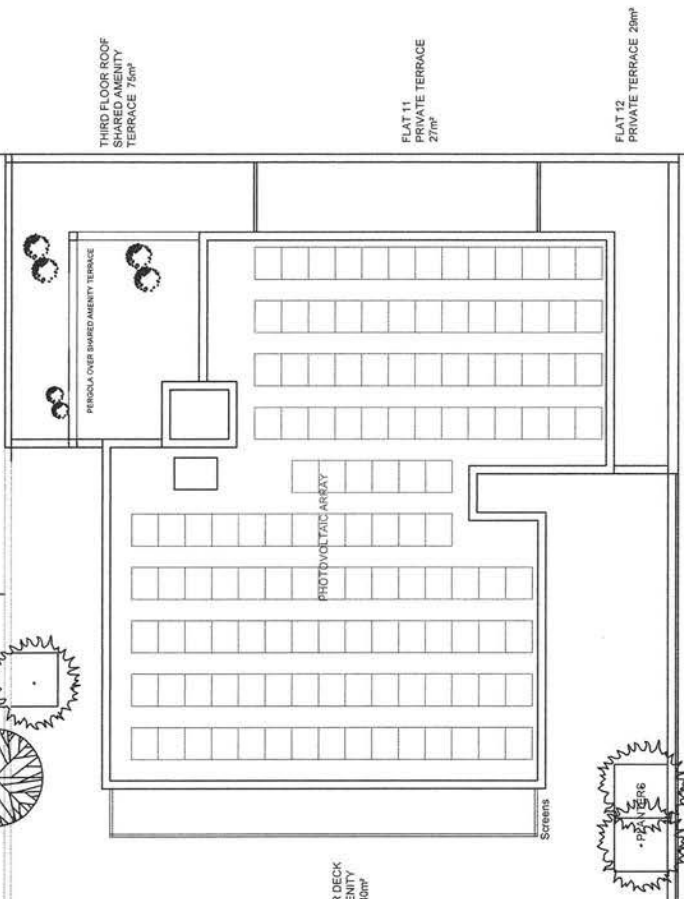


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13 LEES PARADE  
TILE DEPOT

46 NICHOLLS  
AVENUE

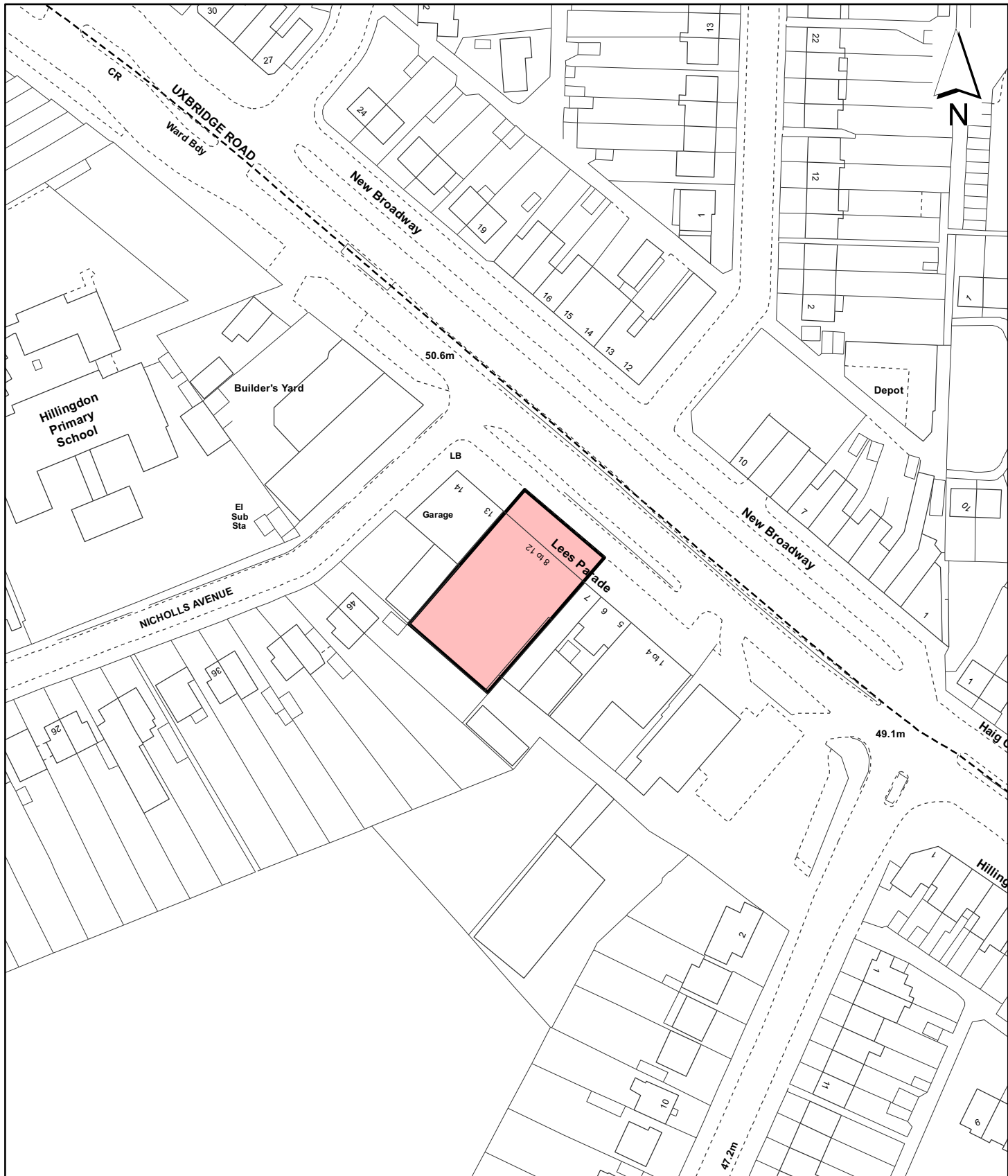
7 LEES PARADE




**AMENITY SPACES 1:100**

AMENITY SPACE REQUIREMENTS	Totals
1 BED FLATS	80m²
Units 2, 7, 11, 12	
2 BED FLATS	250m²
Units 1, 3, 4, 5, 6, 8, 9, 10, 13, 14	
<b>TOTALS</b>	<b>330m²</b>
<b>PROVISIONS</b>	
Shared rear terrace deck	340m²
Shared third floor terrace	75m²
Total shared amenity space	415m²
Flat 11 terrace	27m²
Flat 12 terrace	20m²
Total private allocation	56m²
<b>TOTAL PROVISION</b>	<b>471m²</b>

EXISTING ACCESS  
RIGHT OF WAY  
(To be confirmed)



**Notes**

 Site boundary

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Site Address	
<b>8 - 12 Lees Parade Uxbridge Road Hillingdon</b>	
Planning Application Ref:	Scale
<b>1803/APP/2013/733</b>	<b>1:1,250</b>
Planning Committee	Date
<b>Major Applications</b>	<b>May 2013</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## Report of the Head of Planning, Sport and Green Spaces

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

**Development:** Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 6 and 7 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

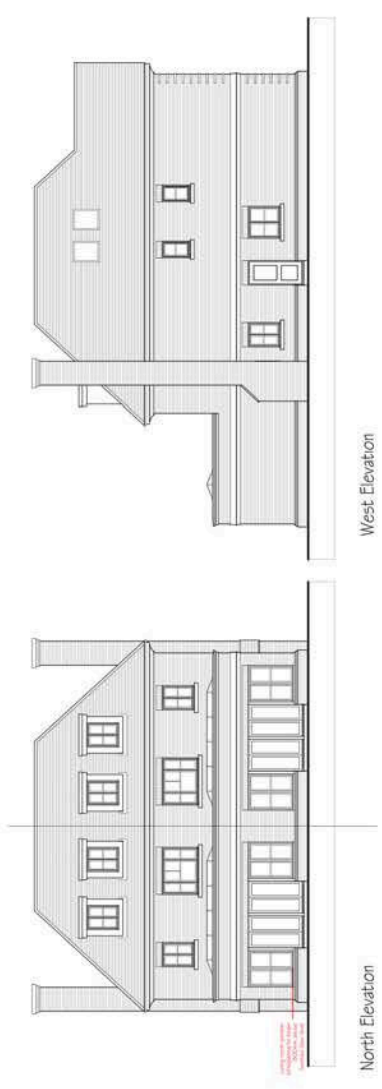
**LBH Ref Nos:** 59214/APP/2013/852

**Date Plans Received:** 05/04/2013      **Date(s) of Amendment(s):** 18/10/2010  
**Date Application Valid:** 09/04/2013      26/10/2010  
25/08/2010  
22/10/2012  
12/10/2010



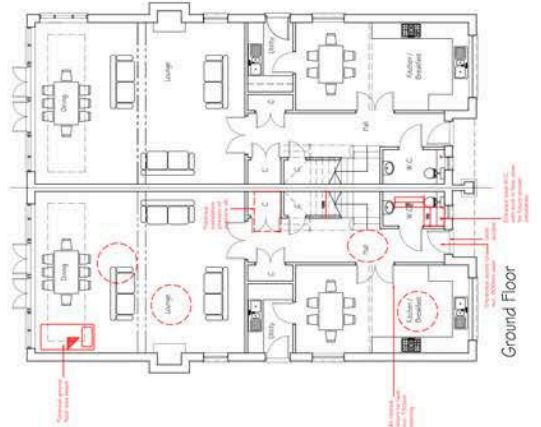
South Elevation

East Elevation

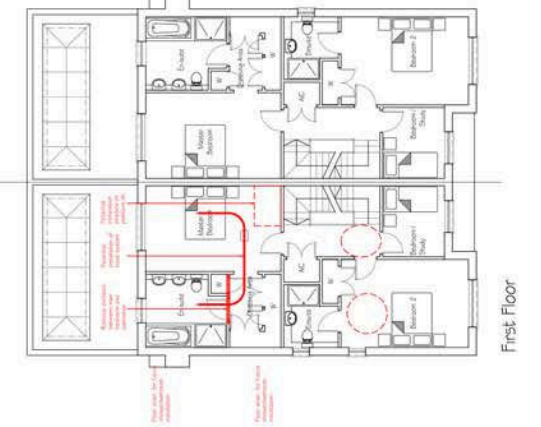


North Elevation

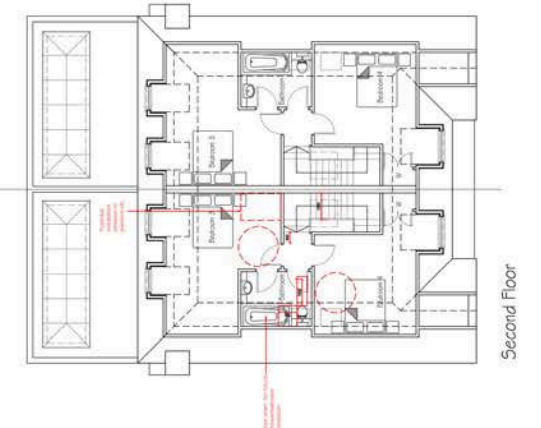
West Elevation



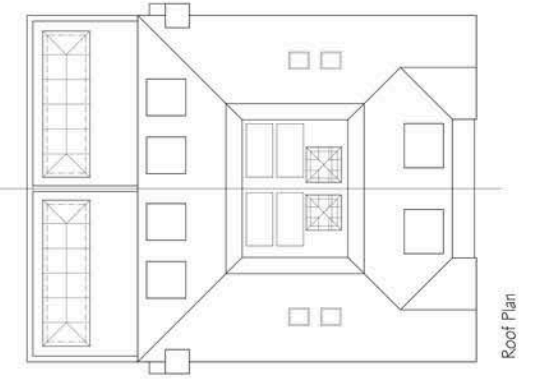
Ground Floor



First Floor



Second Floor



Roof Plan

**tpa**  
The tpa Design Company Ltd  
33A St Luke's Road, Northwood, Middlesex, UK  
Tel: 01628 412388  
Fax: 01628 412390  
Email: info@tpadesign.co.uk

Client: Taylor Wimpey West London Ltd.  
Job title: 37-45 Ducks Hill Road Northwood  
Drawing title: PLOTS 6 & 7 Plans and Elevations  
Scale: 1:100  
Date: 02-13  
Drawn by: DE  
Rev: 1  
Drawing no: 1834/PL202

The tpa Design Company Ltd architects landscape architects interior design project management planning supervisors



Rev. A, 08-10 elevation of projection on rear of garden room (plot 6) corrected  
 Rev. B, 10-10 Revised following access officers comments

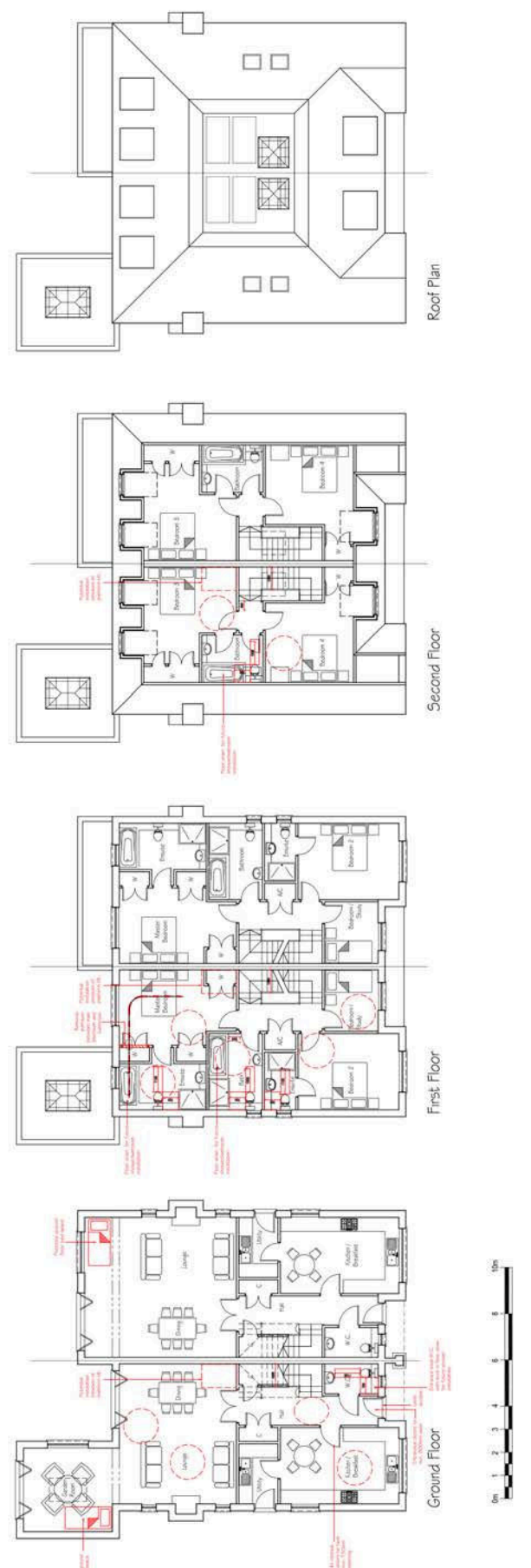


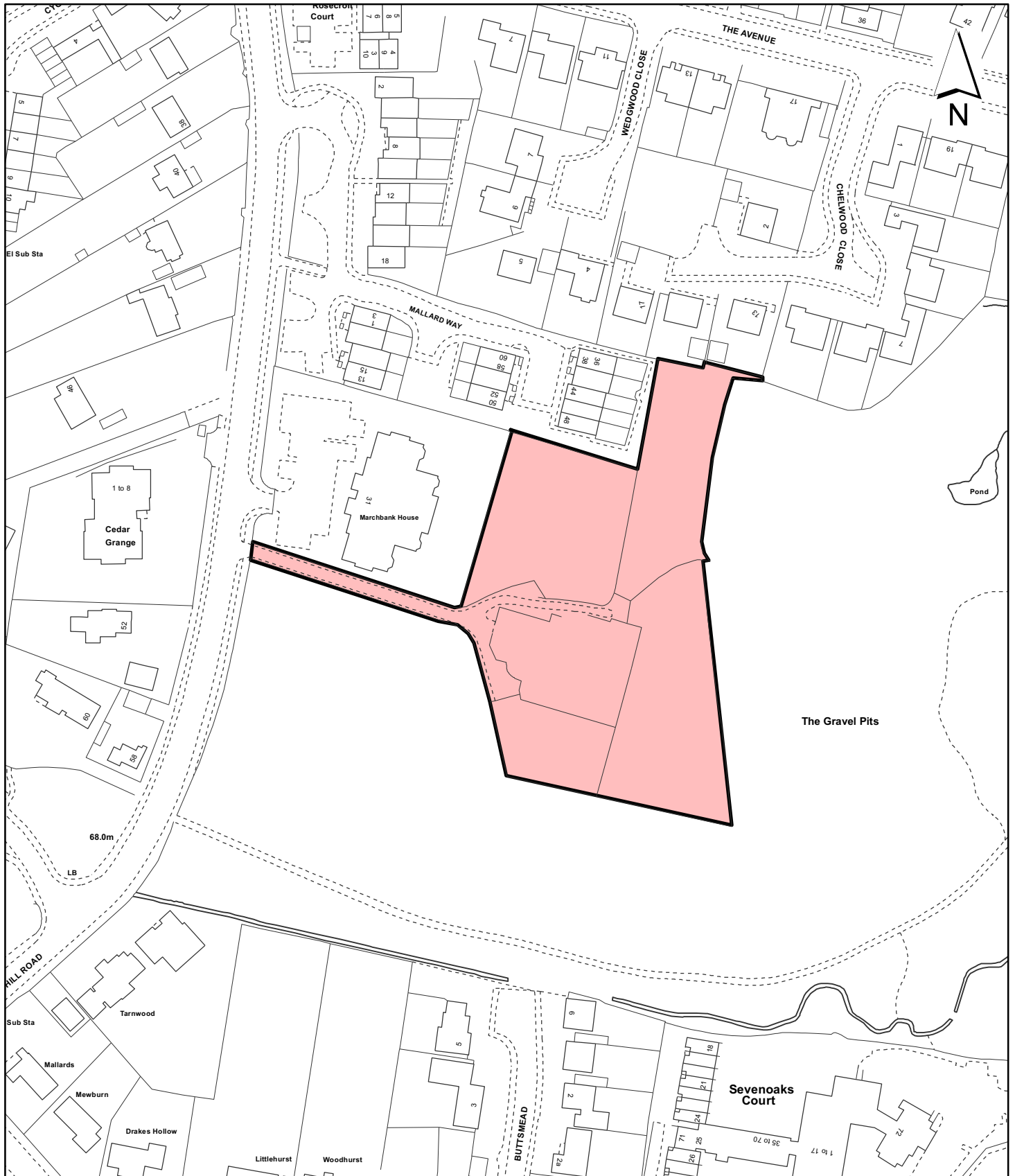
The tpa Design Company Ltd  
 33A St Luke's Road, Northwood, Middlesex, UK  
 Tel: 01828 412388  
 Fax: 01828 412390  
 Email: info@tpadesign.co.uk

Client: **A. Whipples & C. Carter**  
 Job title: **37-45 Ducks Hill Road Northwood**  
 Drawing title: **Plots 6 & 7 Plans and Elevations**

Scale: **1:100**  
 Date: **06-10**  
 Drawn by: **DE**

Drawing no: **1834/PL05**  
 Rev: **B**





**Notes**

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/852**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON



## **Report of the Head of Planning, Sport and Green Spaces**

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

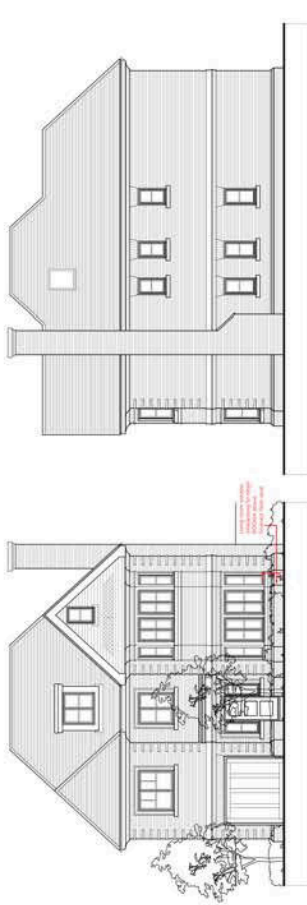
**Development:** Variation of Condition 4 (Approved Drawings) to allow the erection of a single storey rear addition, changes to disabled facilities and replacement of ground floor window on south elevation with door on Plot 10 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/849

**Date Plans Received:** 05/04/2013

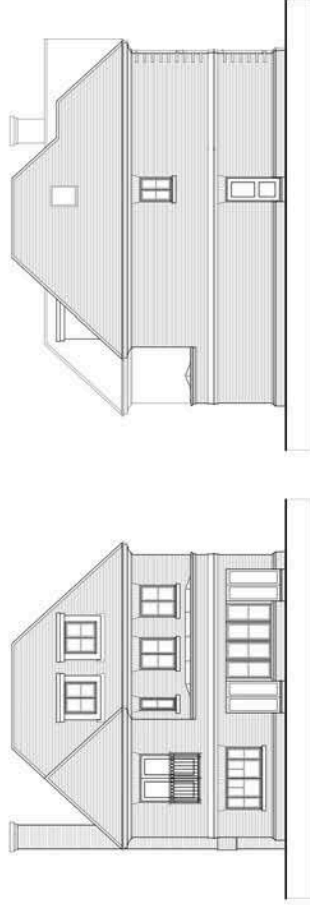
**Date(s) of Amendment(s):**

**Date Application Valid:** 09/04/2013



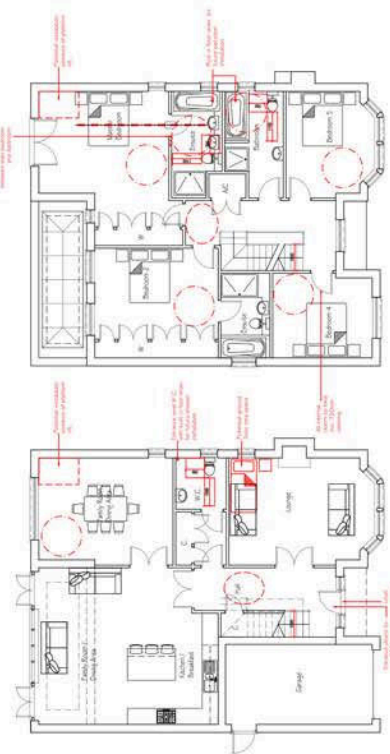
West Elevation

South Elevation



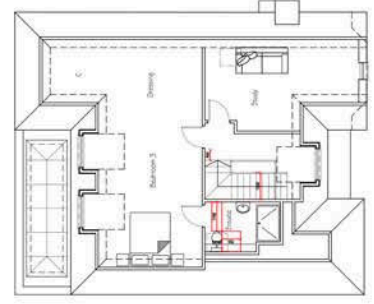
East Elevation

North Elevation

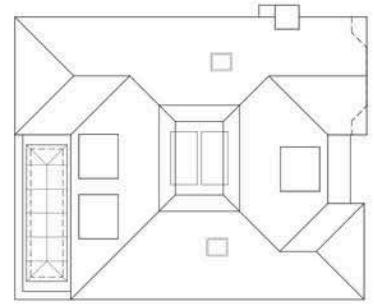


Ground Floor

First Floor




Second Floor



Roof Plan

- Potential hot location
- Potential platform lift location
- 1.5m turning circle
- 1.5 x 1.2m turning ellipse





**The tpa Design Company Ltd**  
 334 St Lukes Road  
 Mablethorpe  
 Tel: 01624 412388  
 Fax: 01624 412390  
 Email: info@tpadesign.co.uk

**Client:**  
Taylor Wimpey West London Ltd.

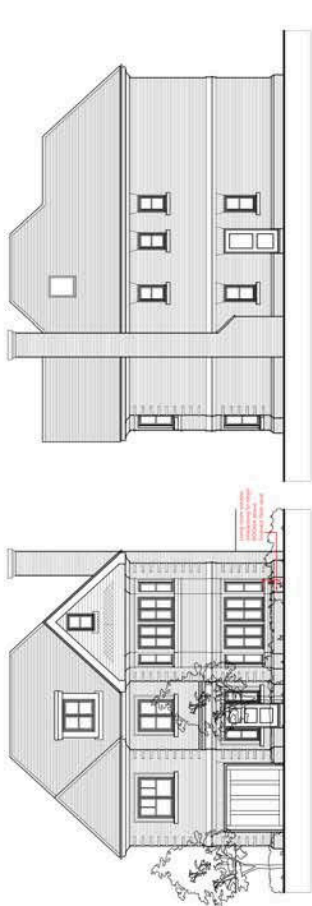
**Job title:**  
37-45 Ducks Hill Road  
Northwood

**Drawing title:**  
Plot 10  
Plans and Elevations

**Scale:** 1:100  
**Date:** 02-13  
**Drawn by:** DE

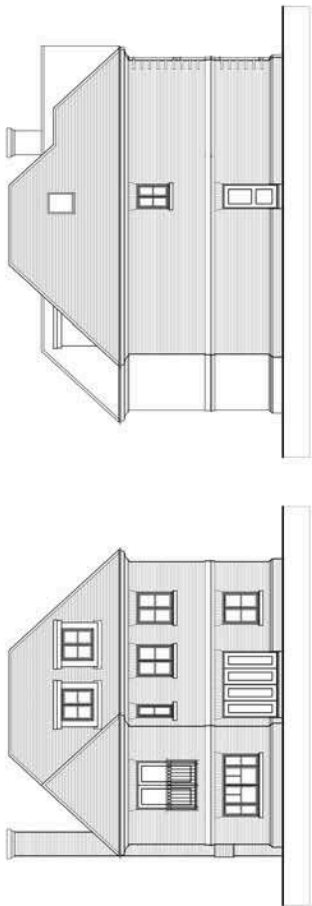
**Drawing no.:** 1834/PL402

The tpa Design Company Ltd architects landscape architects interior design project management planning supervisors



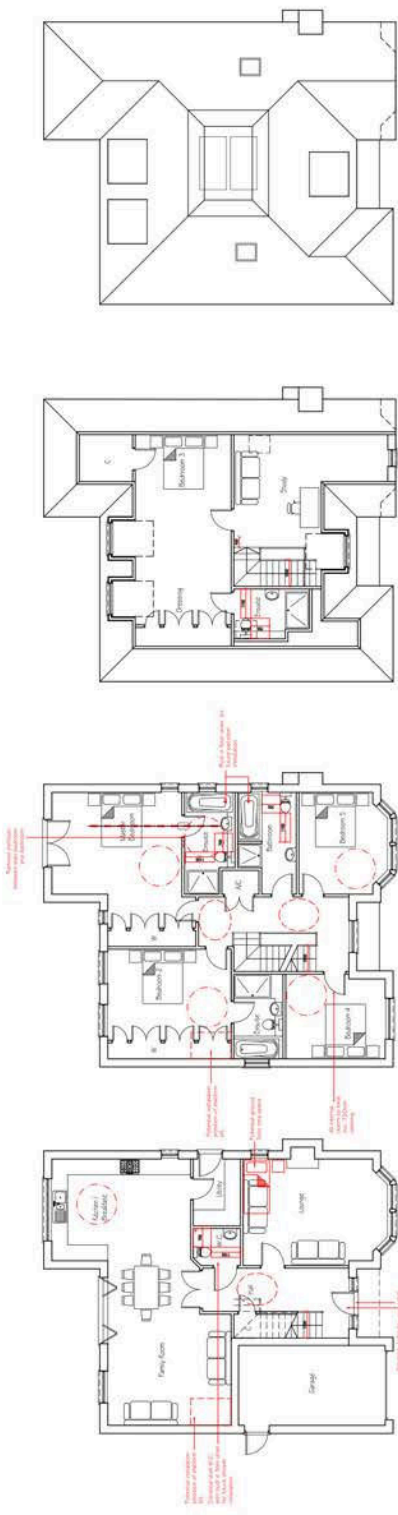
West Elevation

South Elevation



East Elevation

North Elevation



Ground Floor

First Floor

Second Floor

Roof Plan

- Potential hoist location
- Potential platform lift location
- 1.5m turning circle
- 1.5 x 1.2m turning ellipse

Rev A, 10-10 Revised following access officers comments



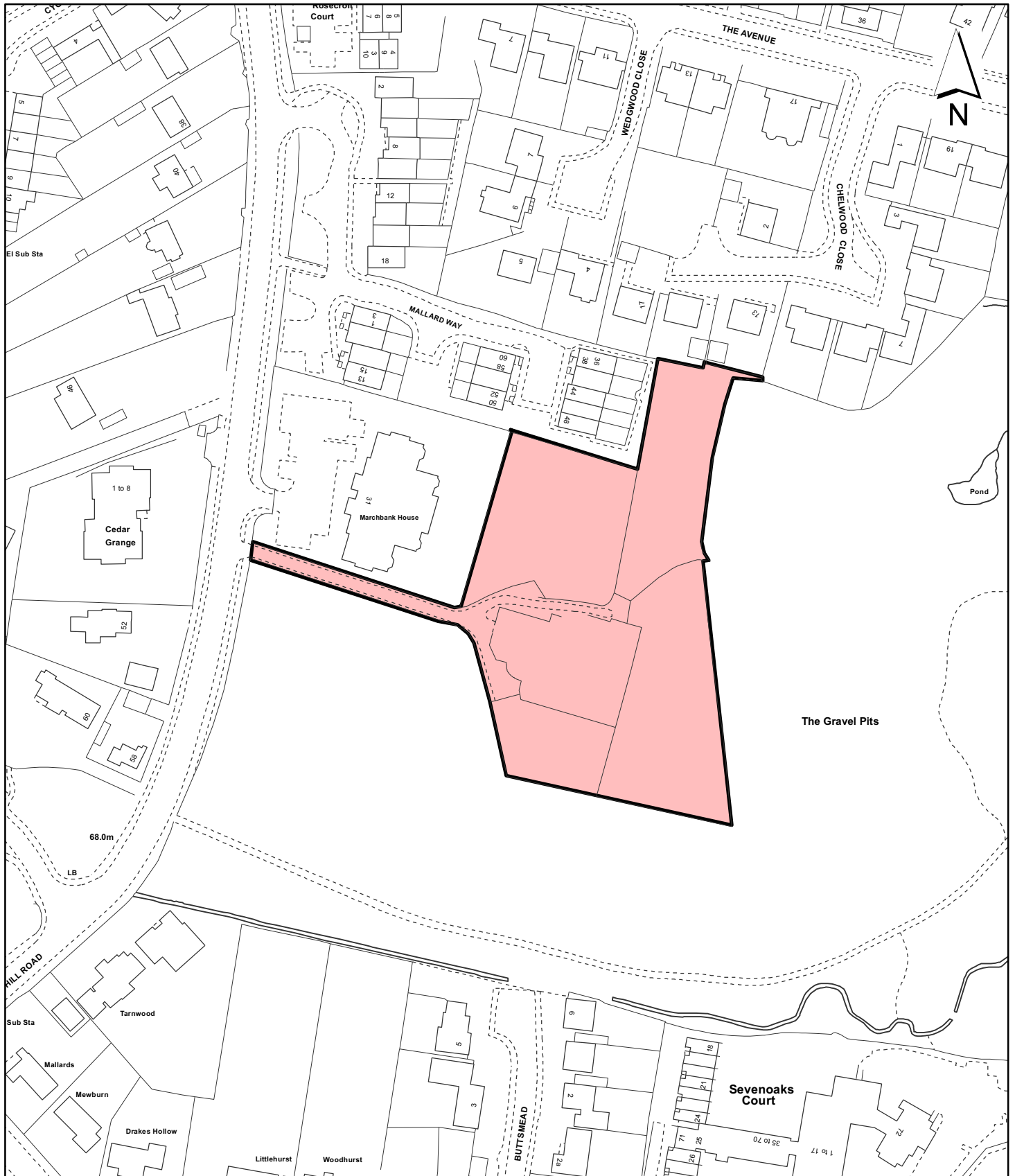
The tpa Design Company Ltd  
 33A St Lukes Road  
 Northwood  
 Tel: 01628 412388  
 Fax: 01628 412390  
 Email: info@tpadesign.co.uk

Client: A. Whipples & C. Carter  
 Job title: 37-45 Ducks Hill Road Northwood

Drawing title: Plot 10 Plans and Elevations  
 Scale: 1:100  
 Date: 06-10  
 Drawn by: DE

Drawing no: 1834/PL08  
 Rev: A

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**Notes**

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/849**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

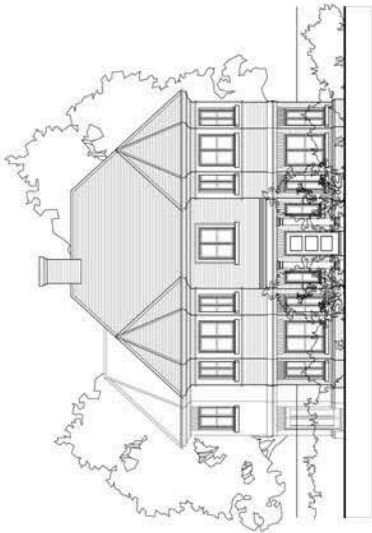
**Development:** Variation of Condition 4 (Approved Drawings) to allow study/games room to be provided for Plot 8 within the roofspace of the detached triple garage serving Plots 6, 7 and 8, involving replacement of a hip end with a gable roof, installation of two rear dormers and an external staircase of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/848

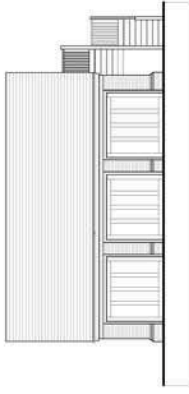
**Date Plans Received:** 05/04/2013

**Date(s) of Amendment(s):**

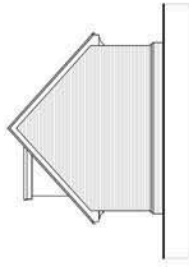
**Date Application Valid:** 09/04/2013



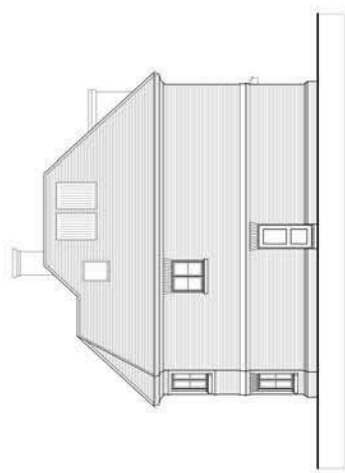
West Elevation



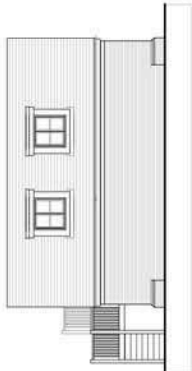
West Elevation



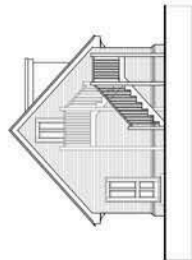
North Elevation



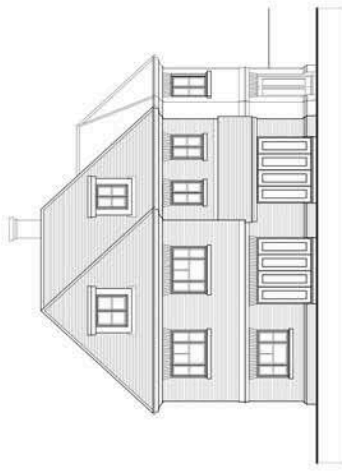
South Elevation



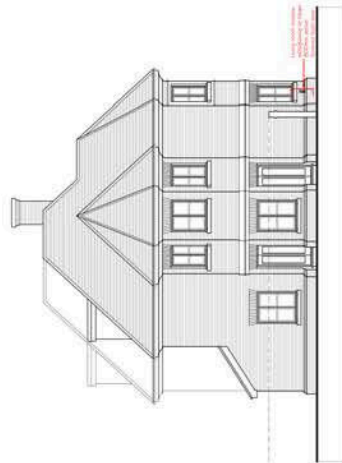
West Elevation



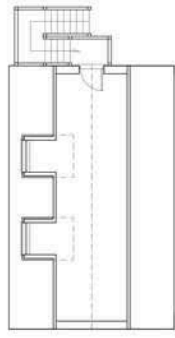
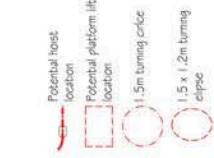
South Elevation



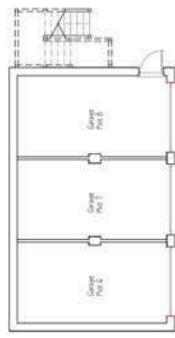
East Elevation



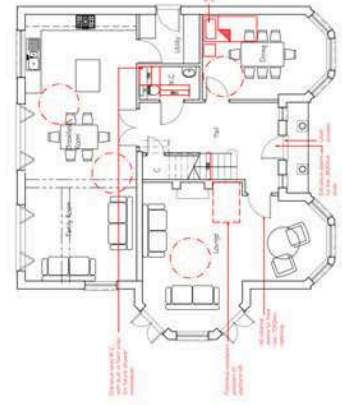
North Elevation



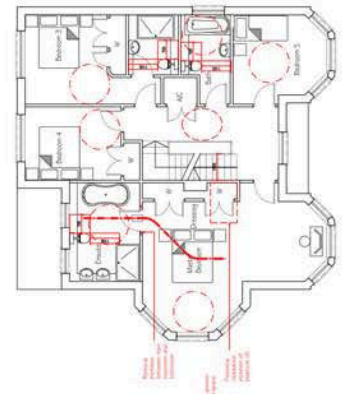
First Floor Plan



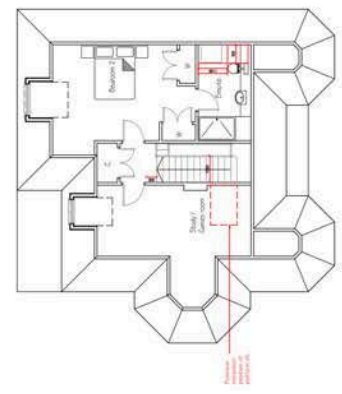
Ground Floor Plan



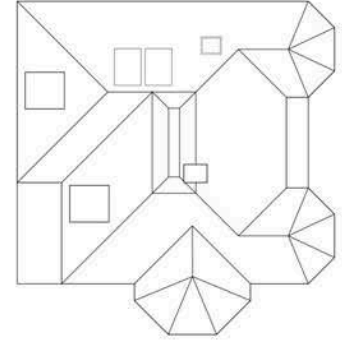
Ground Floor



First Floor



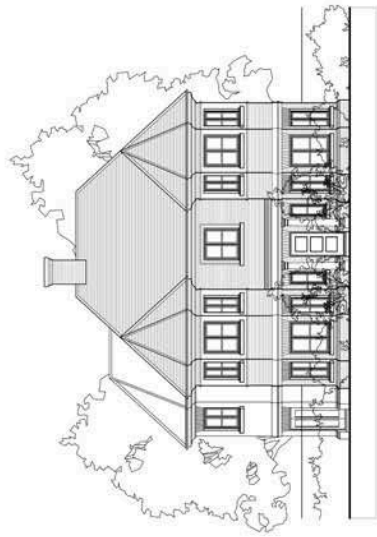
Second Floor



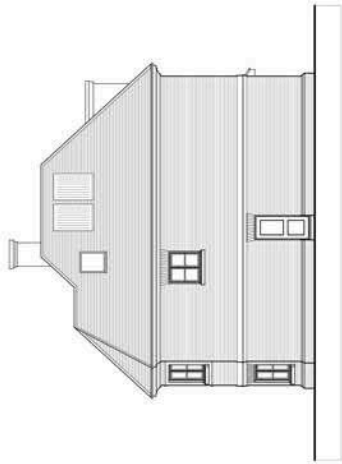
Roof Plan

**tpa**  
The tpa Design Company Ltd  
33A St Luke's Road, Moulsham, Malden, Essex, SS16 4JH  
Tel: 01628 412388  
Fax: 01628 412350  
Email: info@tpadesign.co.uk

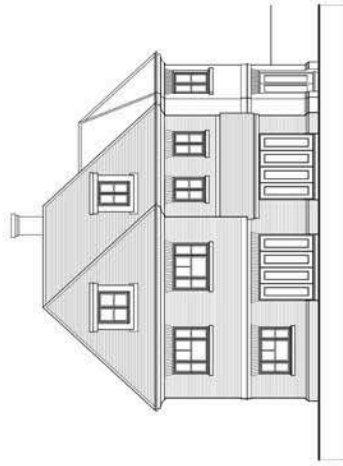
Client: Taylor Wimpey West London Ltd.  
Job title: 37, 45 Ducks Hill Road, Northwood  
Drawing title: Plot 8 Plans and Elevations  
Scale: 1:100 Date: 02-13 DE  
Drawn by: DE  
Drawing no: 1834/PL302 Rev:



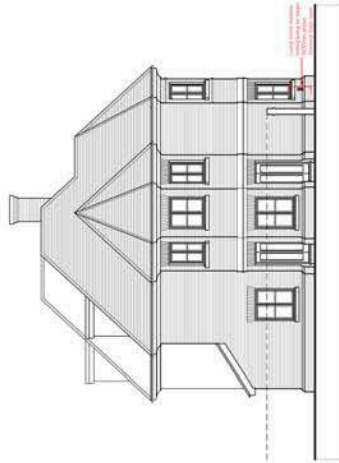
West Elevation



South Elevation

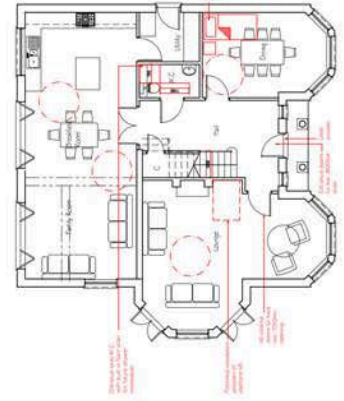


East Elevation

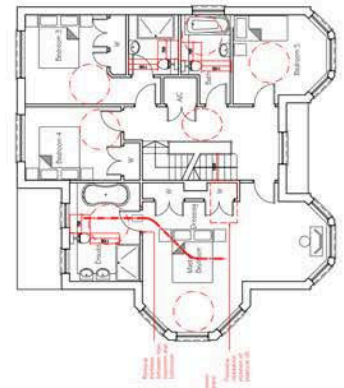


North Elevation

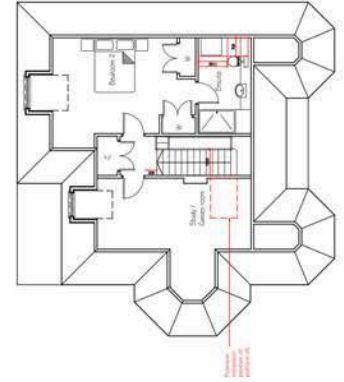
- Potential foot location
- Potential platform lift location
- 1.5m turning circle
- 1.5 x 1.2m turning ellipse



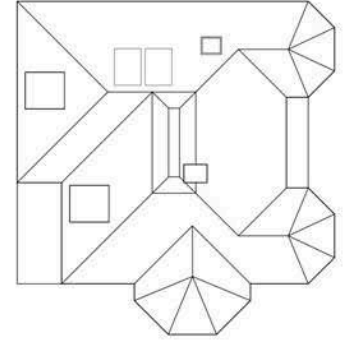
Ground Floor



First Floor



Second Floor



Roof Plan



Rev. A, 10-10 Revised following access officers comments



The TPA Design Company Ltd  
 33A St Luke's Road  
 Mablethorpe  
 Tel: 01628 412388  
 Fax: 01628 412390  
 Email: info@tpadesign.co.uk

Client:  
**A. Whipples & C. Carter**

Job title:  
**37, 45 Ducks Hill Road  
 Northwood**

Drawing title:  
**Plot 8  
 Plans and Elevations**

Scale: 1:100 Date: 06-10 DE  
 Drawn by: DE

Drawing no: **1834/PL06**  
 Rev: **A**

The tpa Design Company Ltd architects landscape architects interior design project management planning supervisors

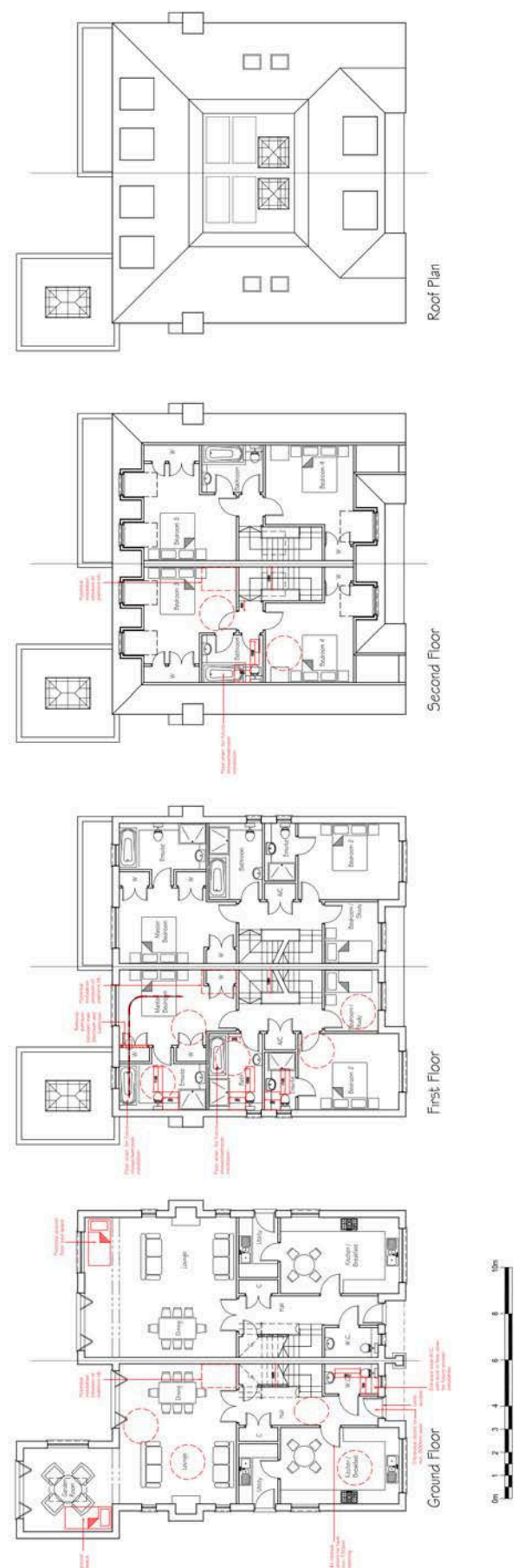


Rev. A, 08-10 elevation of projection on rear of garden room (plot 6) corrected  
 Rev. B, 10-10 Revised following access officers comments

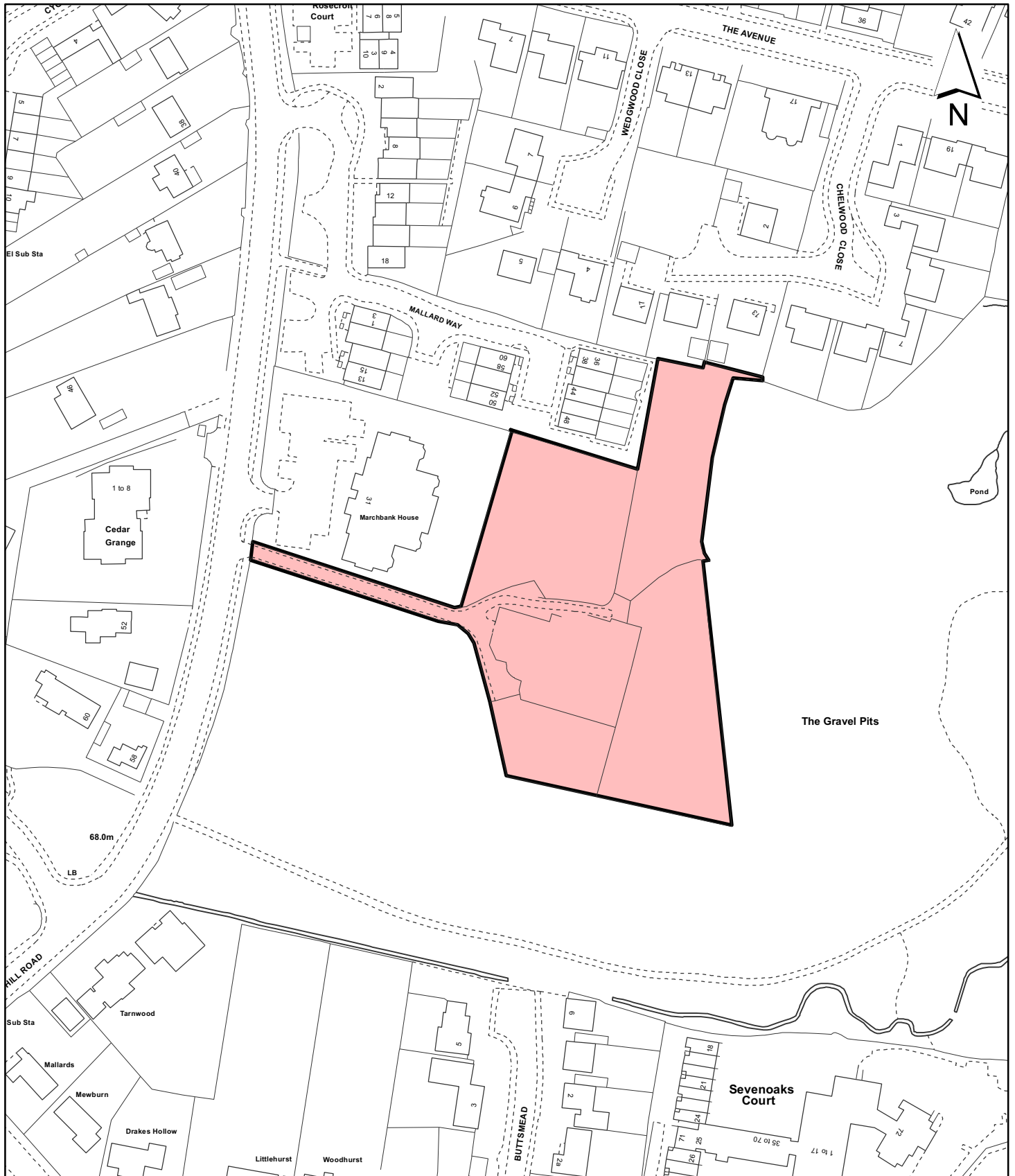
**tpa**  
The tpa Design Company Ltd  
33A St Luke's Road, Northwood, Middlesex, UK  
Tel: 01828 412388  
Fax: 01828 412390  
Email: info@tpadesign.co.uk

Client: **A. Whipples & C. Carter**  
 Job title: **37-45 Ducks Hill Road Northwood**  
 Drawing title: **Plots 6 & 7 Plans and Elevations**


Scale: **1:100** Date: **06-10** Drawn by: **DE**  
 Drawing no: **1834/PL05** Rev: **B**







**Notes**

 Site boundary

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/848**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** LAND AT 37-45 DUCKS HILL ROAD NORTHWOOD

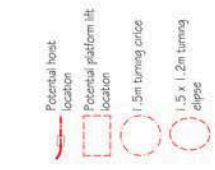
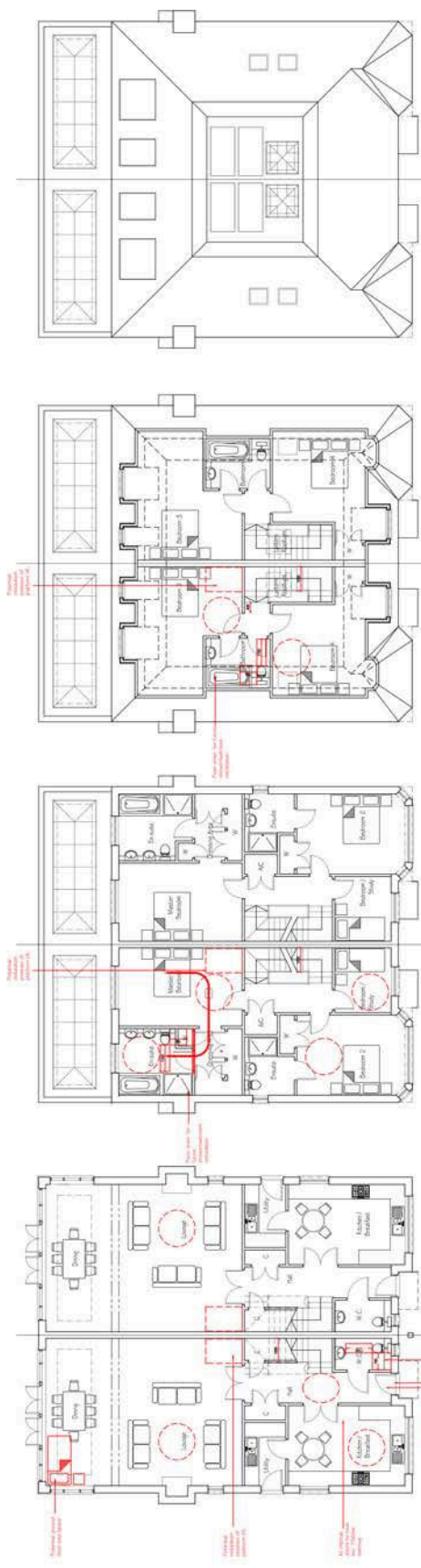
**Development:** Variation of Condition 4 (Approved Drawings) to allow the enlargement of the single storey rear additions, changes to disabled facilities and fenestration on Plots 4 and 5 of planning permission granted 16/11/10, ref. 59214/APP/2010/1776: Erection of 8 detached and 6 semi-detached dwellings with associated access, parking and landscaping.

**LBH Ref Nos:** 59214/APP/2013/847

**Date Plans Received:** 05/04/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 09/04/2013

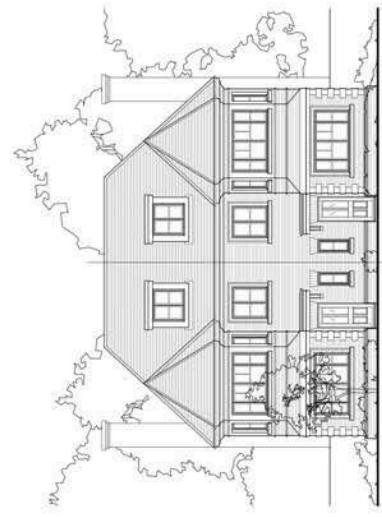


Root Plan

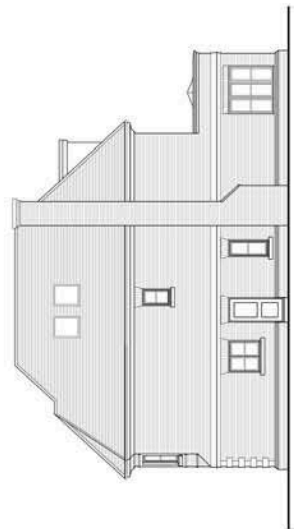
Second Floor

First Floor

Ground Floor



East Elevation



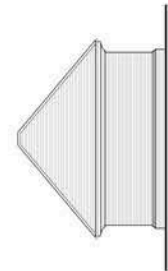
North Elevation



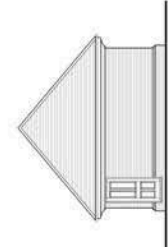
South Elevation



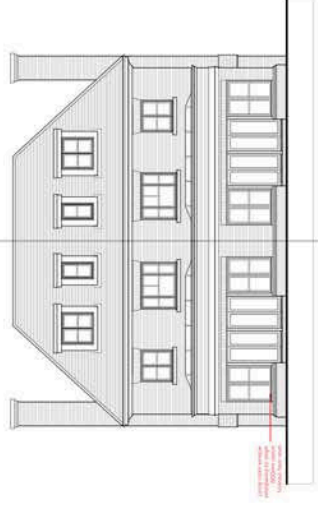
East Elevation



North Elevation



West Elevation

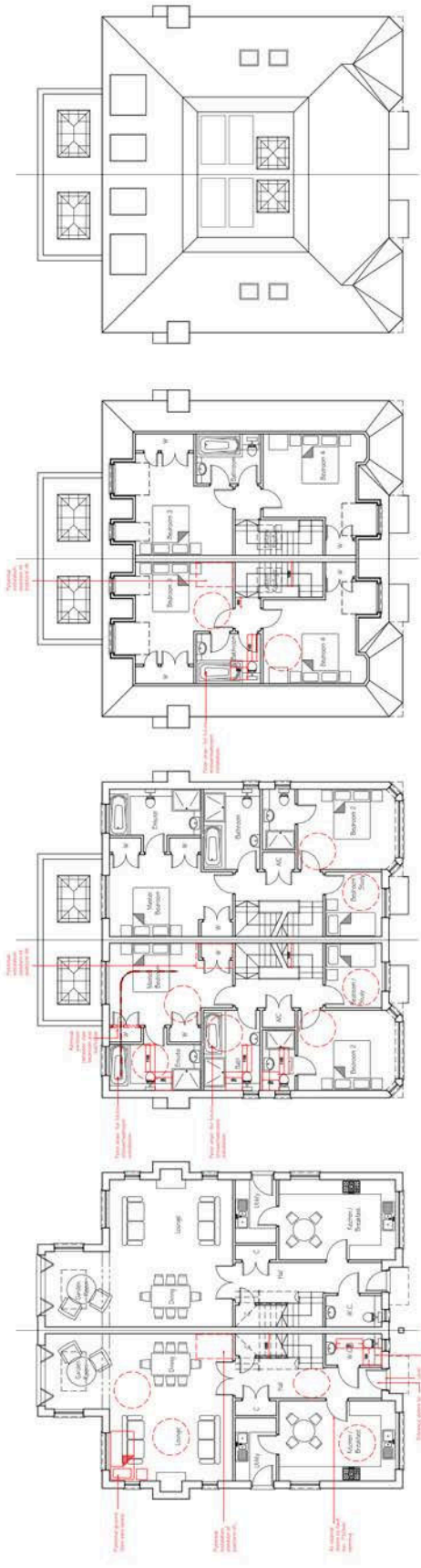


West Elevation

**tpa**  
The tpa Design Company Ltd  
33A St Luke Road, Moulsham, Colchester, Essex, CO1 1LH  
Tel: 01206 412388  
Fax: 01206 412390  
Email: info@tpadesign.co.uk

Client: Taylor Wimpey West London Ltd.  
Job title: 37-45 Ducks Hill Road, Northwood  
Drawing title: Plot 4 - 5 Plans and elevations  
Scale: 1:100  
Date: 02/13  
Drawn by: DE  
Check by: DE  
Drawing no: 1834/PL102

The tpa Design Company Ltd architects landscape architects interior design project management planning inspectors

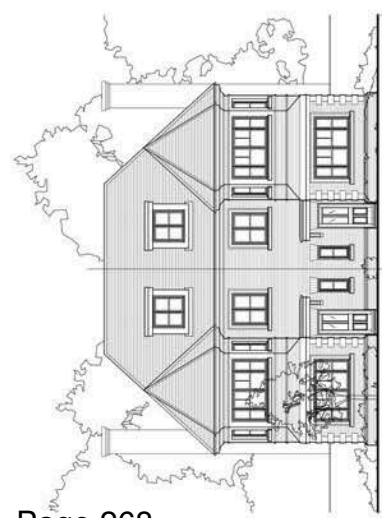


Roof Plan

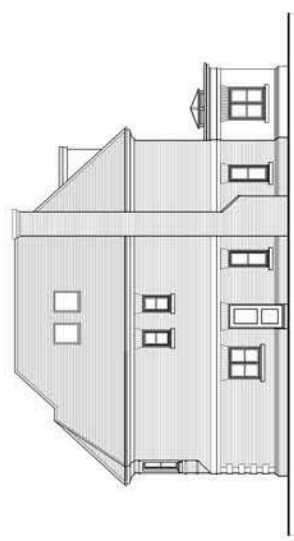
Second Floor

First Floor

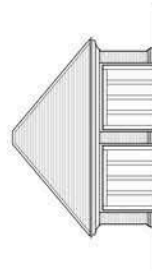
Ground Floor



East Elevation



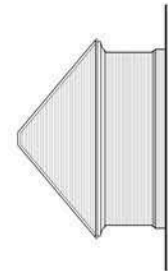
North Elevation



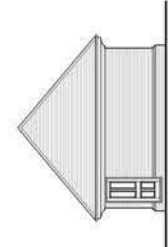
South Elevation



East Elevation



North Elevation



West Elevation

Rev. A, 10-10 Revised following access officers comments



The tpa Design Company Ltd  
 33A St Luke Road, Mablethorpe  
 Louth, Lincolnshire, LN11 8JH  
 Tel: 01522 412388  
 Fax: 01522 412390  
 Email: info@tpadesign.co.uk

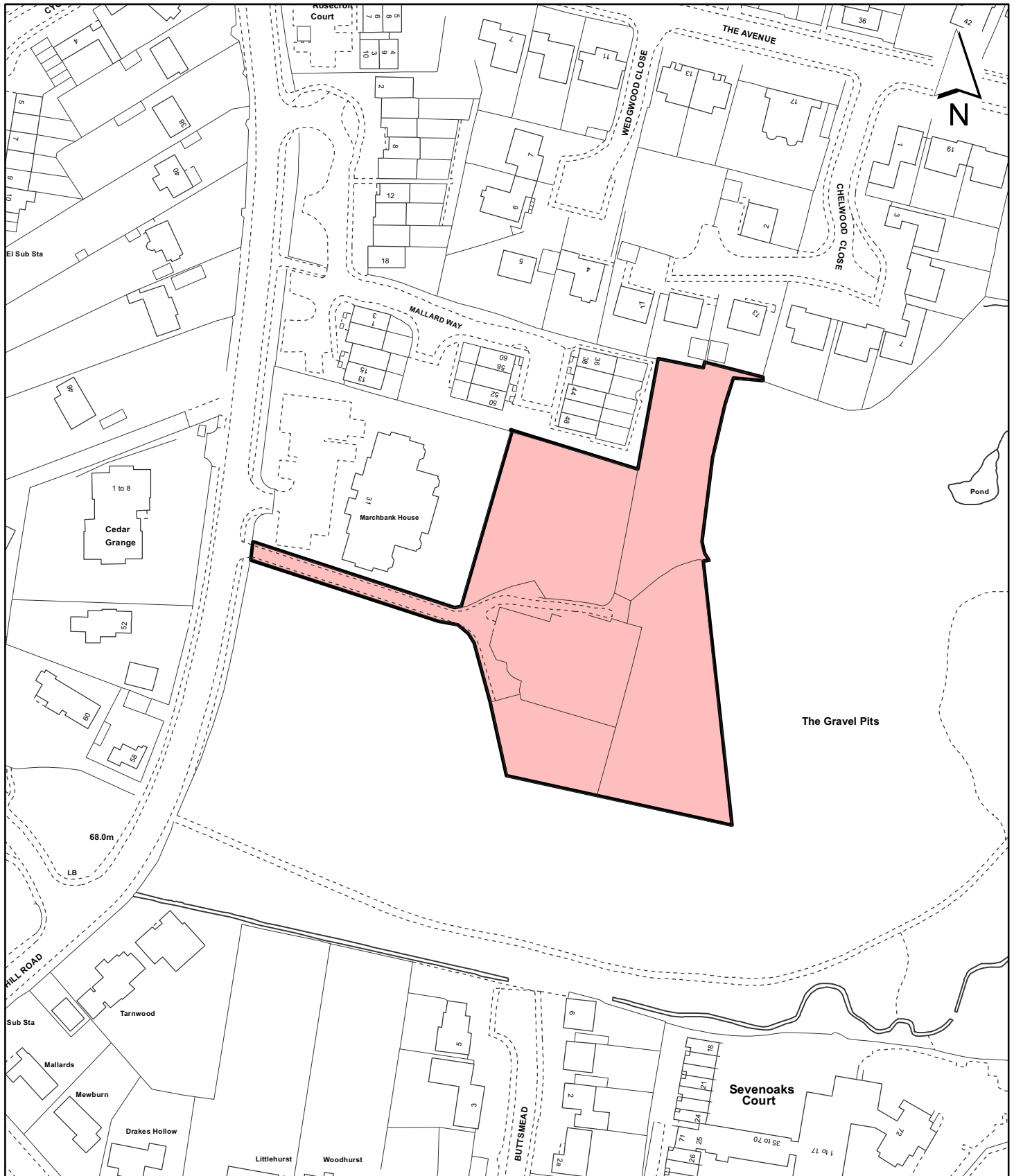
Client: A. Whipples & C. Carter

Job title: 37-45 Ducks Hill Road Northwood

Drawing title: Plot 4 - 5 Plans and elevations

Scale: 1:100 Date: 06-10 Drawn by: DE

Drawing no: 1834/PL04 Rev: A



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Land at 37 - 45 Ducks Hill Road  
Northwood**

Planning Application Ref:

**59214/APP/2013/847**

Planning Committee

**Major Applications**

Scale

**1:1,500**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** FORMER REINDEER PUBLIC HOUSE MAXWELL ROAD NORTHWOOD

**Development:** Minor Material Amendment application, seeking modifications to balconies of flats 2 & 6, amendments to the internal layouts of flats 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 and 12; amendments to roof and introduction of roof terraces to flats 11 and 12; increase in depth of northern front bay, provision of doors to front gardens for flats 4 and 5, use of front bays as terraces for flats 8 and 9; and reconfiguration of windows on the south west (courtyard) elevation, together with amendments to Parking Control Methodology. (S73 Application for amendments to approved plans under condition 4 and variation of condition 7 of planning permission 18958/APP/2011/873 dated 13/07/2011 (residential development)).

**LBH Ref Nos:** 18958/APP/2013/694

**Date Plans Received:** 20/03/2013

**Date(s) of Amendment(s):**

**Date Application Valid:** 25/03/2013



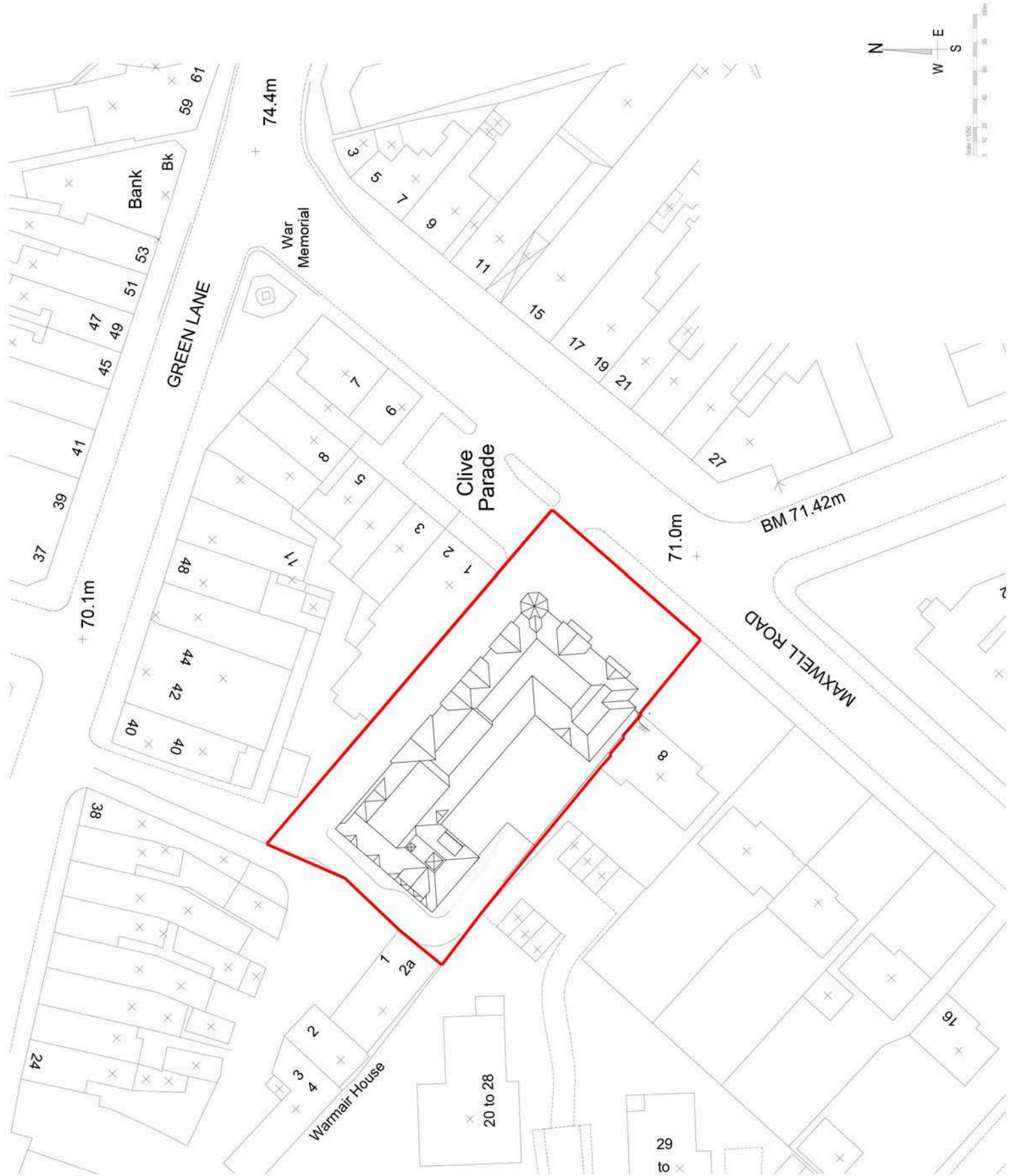
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125 Queens Road | +44 (0)1273 732 031  
Brighton BN1 3WB | info@agora.com  
United Kingdom | www.agora.com

PROJECT: RUSNOCK HOLDINGS LTD  
REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA6 2YF

TITLE: LOCATION PLAN

STATUS:	PLANNING CONDITIONS
DATE:	MARCH 2013
SCALE:	B1
DATE:	1:250
DRAWN BY:	TP
REVIEWED BY:	TP
DATE:	1586
SCALE:	PC 000

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ROSNOCK HOLDINGS LTD

REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA6 2YE

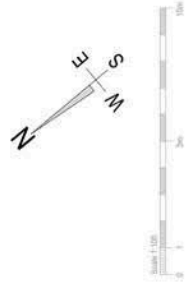
TITLE  
LOWER GROUND FLOOR PLAN

PLANNING CONDITIONS	
DATE:	March 2013
SCALE: 1:100	
DESIGNED BY:	PM
REVISIONS:	IP
NO.:	1586
PC:	100

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**NOTE**  
ALL FLATS in living rooms, bedrooms, bathrooms, and shall be built in accordance with 'LIFETIME HOMES' standards. All electrical switches & sockets shall be between 450mm and 1200mm.









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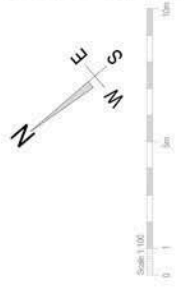
PROJECT  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA6 2YF

TITLE  
 FIRST FLOOR PLAN

PLANNING CONDITIONS	
STATUS	SCALE 0:1
DATE	March 2013
DRAWN BY	TP
PROJECT NUMBER	1586 PC 102
CAD FILE VERSION	1.0

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**NOTE**  
 ALL PLATES (living rooms, bedrooms, kitchens, bathrooms, etc.) shall be in accordance with LIFETIME HOMES standard as set out in the conditions to B. All electrical switches & sockets to be between 600mm and 1200mm.



FIRST FLOOR



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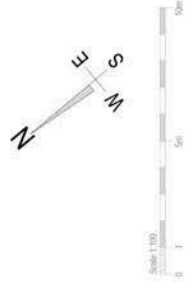
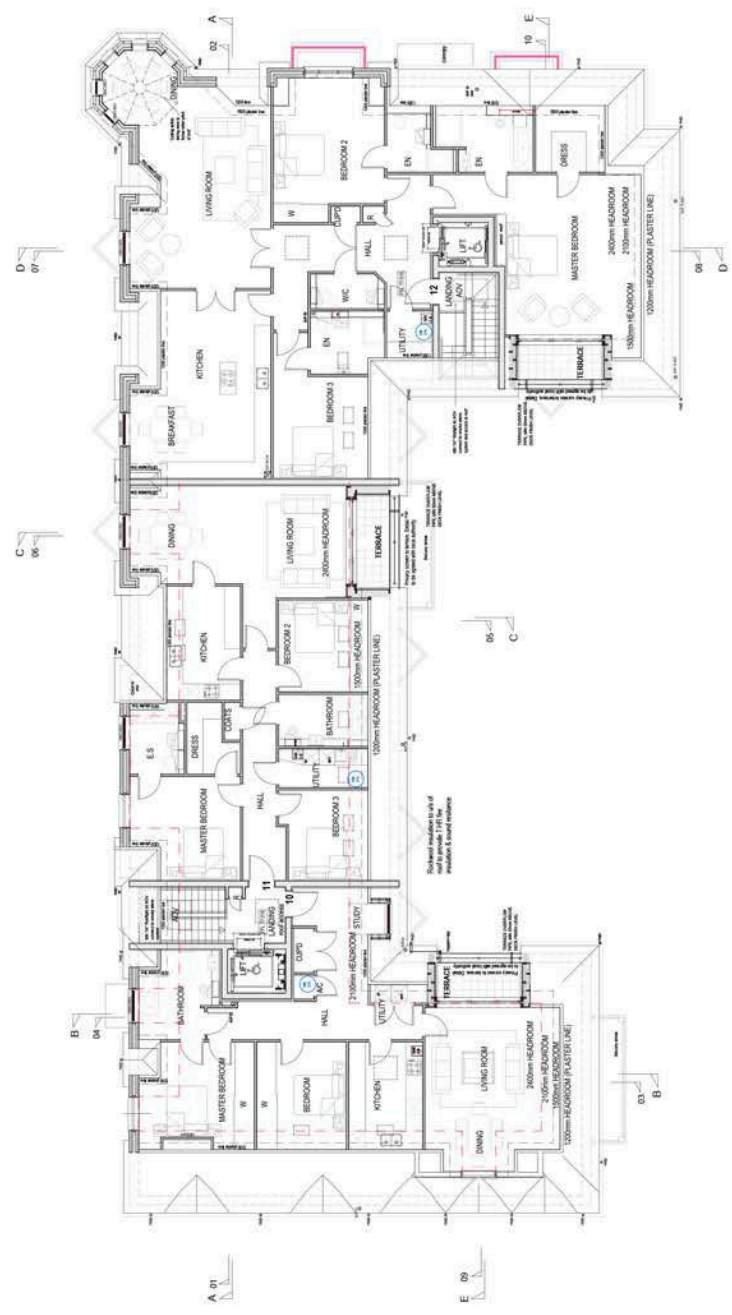
PROJECT  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA0 2YF

TITLE  
 SECOND FLOOR PLAN

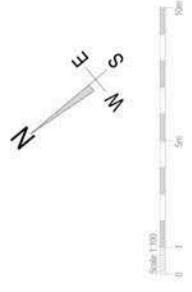
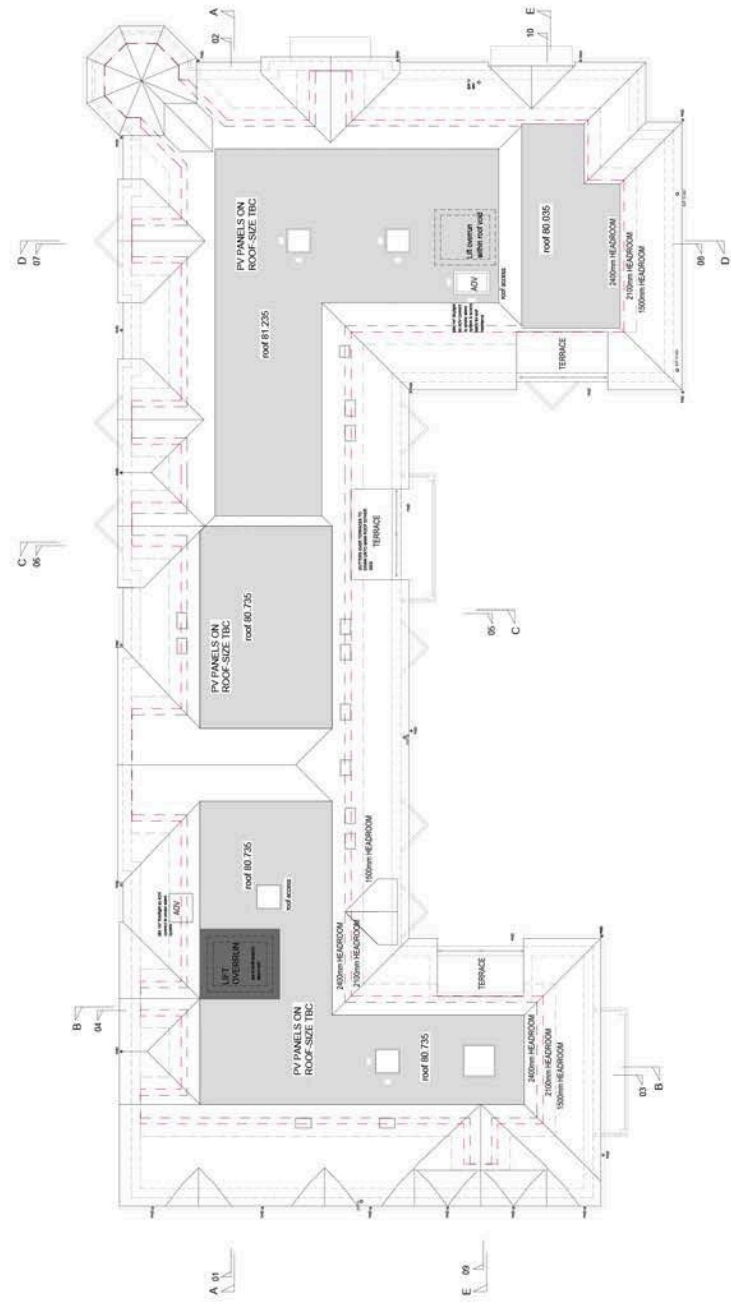
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March 2013	1:100
DRAWN BY	REVIEWED BY
RG	TP
DATE OF REVISION	
1586	PC 103
DATE OF REVISION	Client

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**NOTE**  
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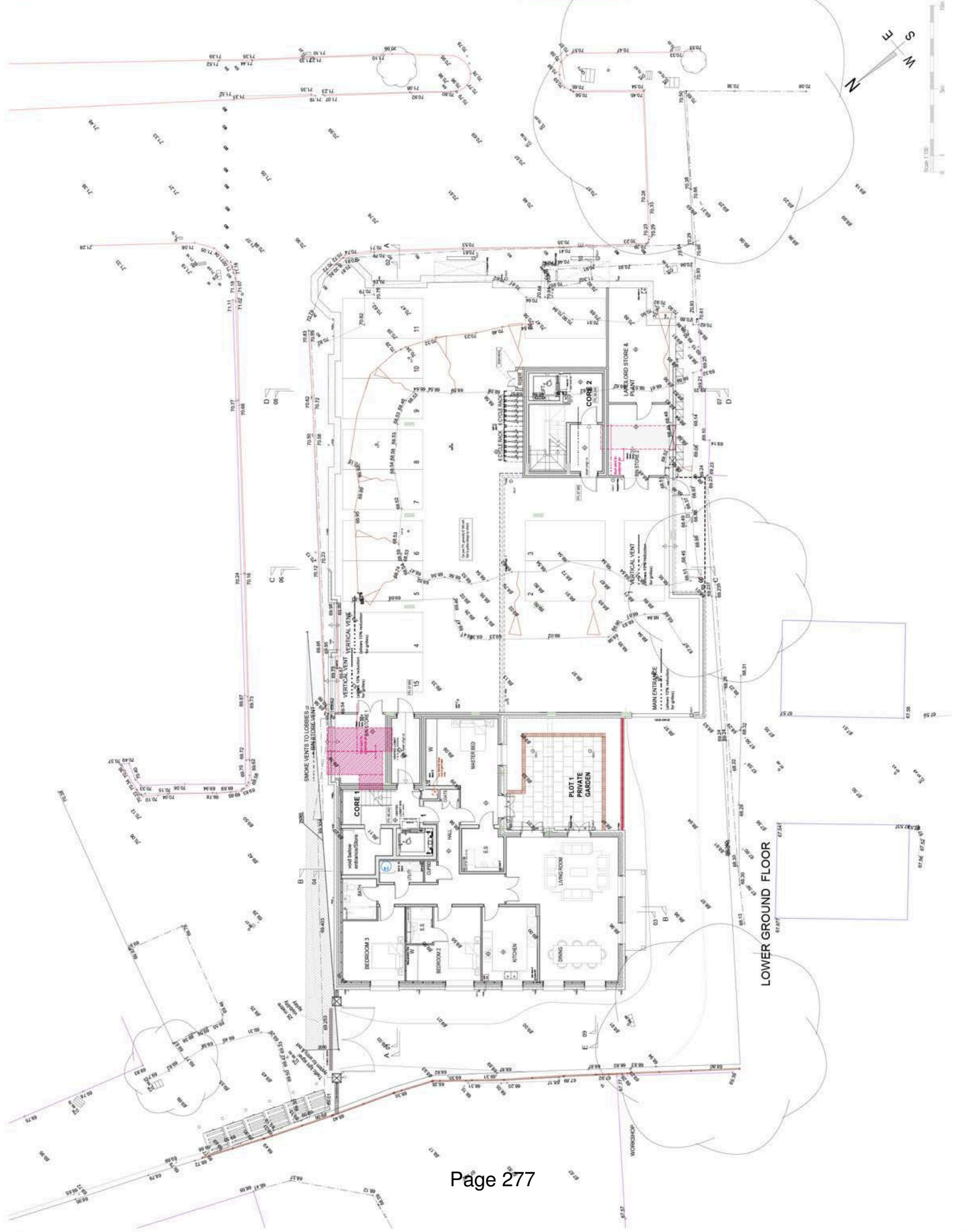
RUSNOCK HOLDINGS LTD

PROJECT: REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HAG 2VF

TITLE: PROPOSED LWR GROUND FLOOR  
PLAN OVERLAIN ON  
TOPOGRAPHICAL SURVEY

PLANNING CONDITIONS	
DATE:	MARCH 2013
SCALE:	1:100
DRAWN BY:	TP
DATE:	1586
PC:	004

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LOWER GROUND FLOOR



REVISIONS:  
REV: DATE: REVISION:

NOTE:  
Changes to the new entrance and ramp to be read in conjunction with the existing drawing to 15/08/10.  
Mr. Vitchak and Access Plan and details

EXISTING STREET MARKING TO BE LOCATED

EXISTING STREET MARKING BAYS TO BE LOCATED

NEW STREET MARKING BAYS TO BE LOCATED

REPLACE EXISTING STREET MARKING BAYS WITH NEW BAYS TO BE LOCATED

REPLACE EXISTING STREET MARKING BAYS WITH NEW BAYS TO BE LOCATED

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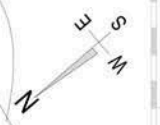
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REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA8 2YF

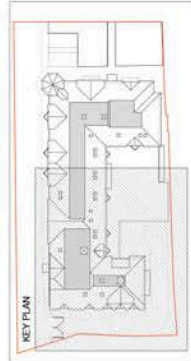
TITLE:  
PROPOSED GROUND FLOOR PLAN  
OVERLAIN ON TOPOGRAPHICAL  
SURVEY

STATUS:  
PLANNING CONDITIONS

DATE: MARCH 2013  
SCALE: 1:100  
DRAWN BY: TP  
CHECKED BY: TP  
PROJECT NO: 1586 PC 005

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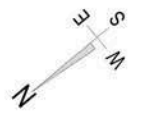
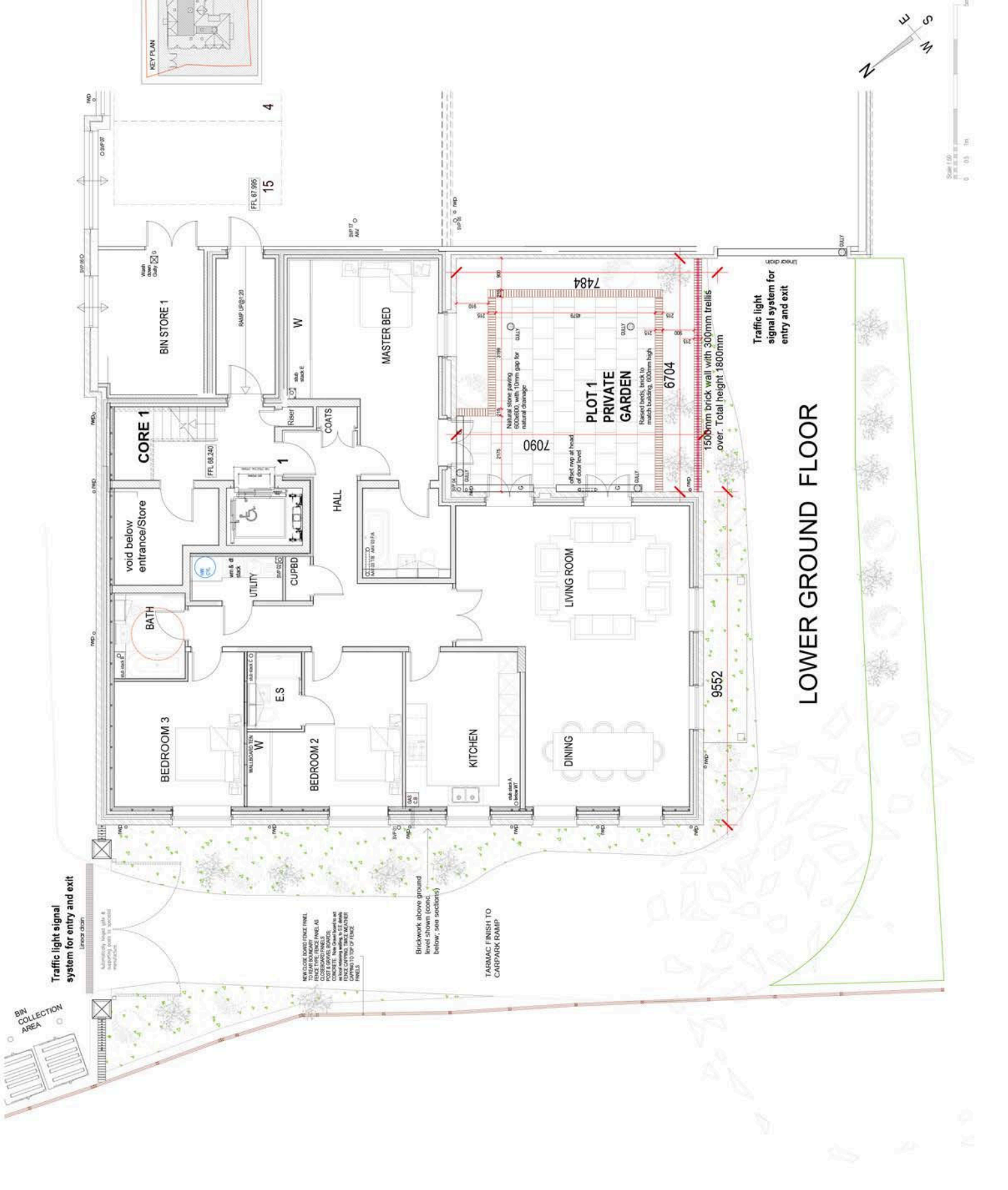
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RUSNOCK HOLDINGS LTD  
 PROJECT  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA6 2YF

TITLE  
 LOWER GROUND FLOOR PLAN  
 LANDSCAPING SETTING OUT

PLANNING CONDITIONS	
DATE:	MARCH 2013
SCALE:	B1:1
PROJECT:	150
REVISION:	IP
DATE:	1586
PC:	010

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Scale 1:50  
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 PROJECT: REINDER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA6 2YF

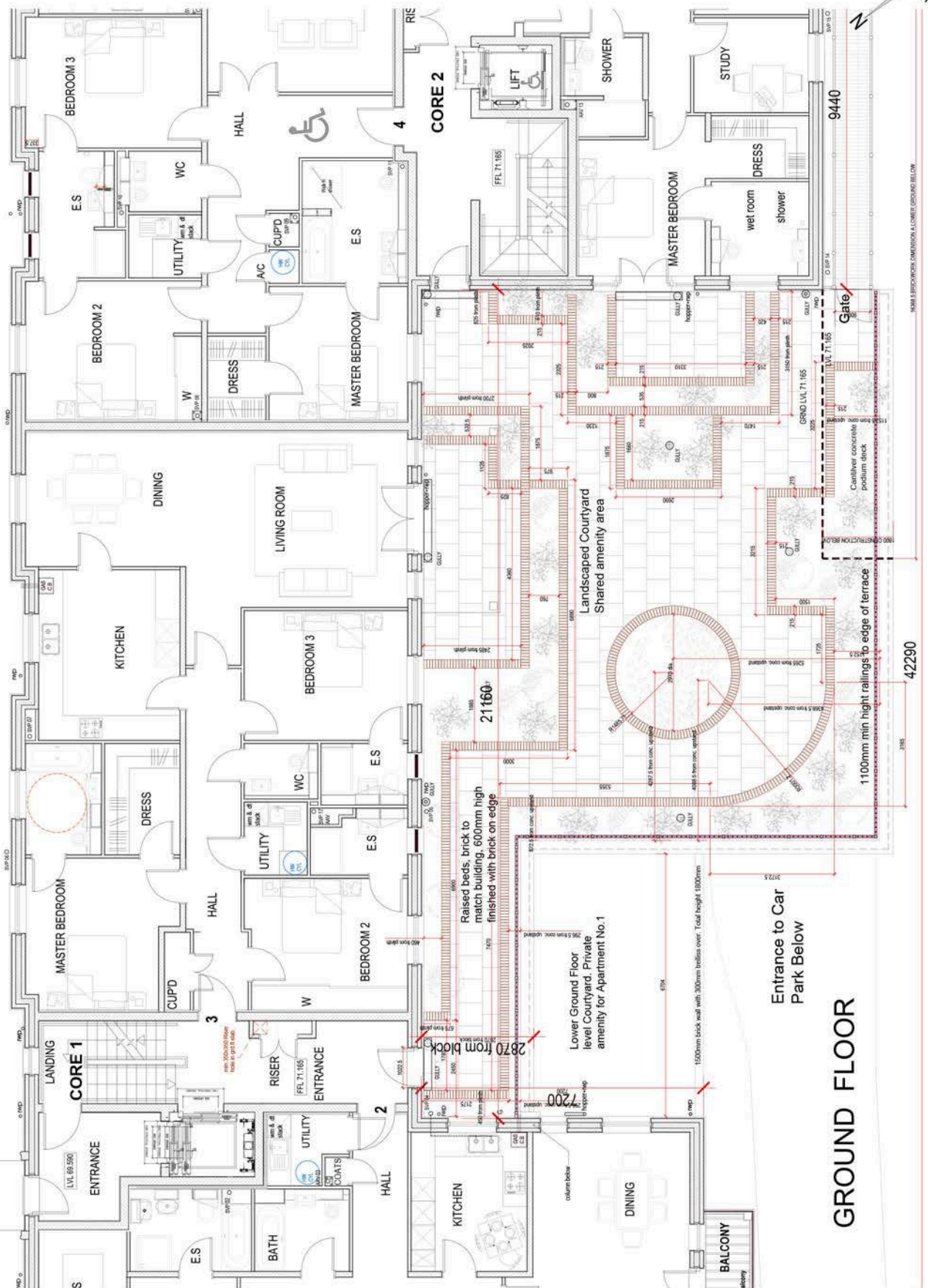
TITLE: GROUND FLOOR  
 LANDSCAPING SETTING OUT  
 DRAWING 1 OF 2

PLANNING CONDITIONS  
 DATE: MARCH 2013  
 SCALE: A1  
 DRAWN BY: RYAN  
 CHECKED BY: TP

1586 PC 011  
 CLIENT: RUSNACK HOLDINGS LTD

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Existing Footpath made good



GROUND FLOOR

Entrance to Car Park Below

Lower Ground Floor level Courtyard. Private amenity for Apartment No.1

Raised beds, brick to match building, 600mm high finished with brick on edge

1100mm min height railings to edge of terrace

Landscaped Courtyard Shared amenity area





THIS DRAWING TO BE READ  
IN CONJUNCTION WITH  
DRAWING NO. 1585 - 816 &  
817



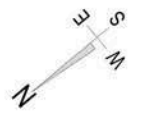
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PROJECT: REINDER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA6 2YF

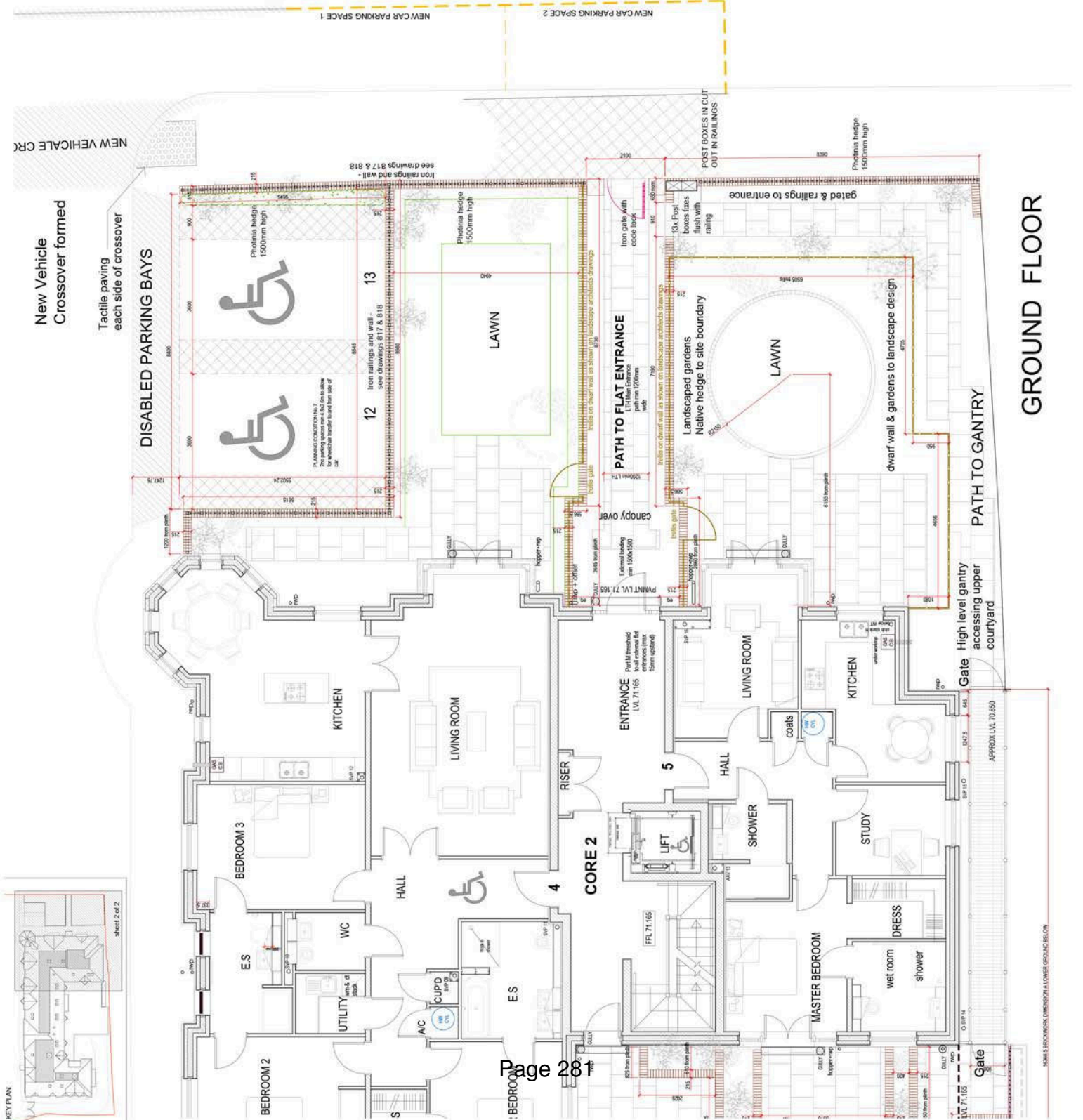
TITLE: GROUND FLOOR  
LANDSCAPING SETTING OUT  
DRAWING 2 OF 2

PLANNING CONDITIONS	
DATE:	MARCH 2013
SCALE:	B1
REVISION:	150
BY:	TP
DATE:	1586
PC:	012

Scale 1:50  
0 0.5 1m  
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# MAXWELL ROAD



# GROUND FLOOR



FORMS DIMENSIONS DIMENSION ALLOWED OTHERWISE BELOW

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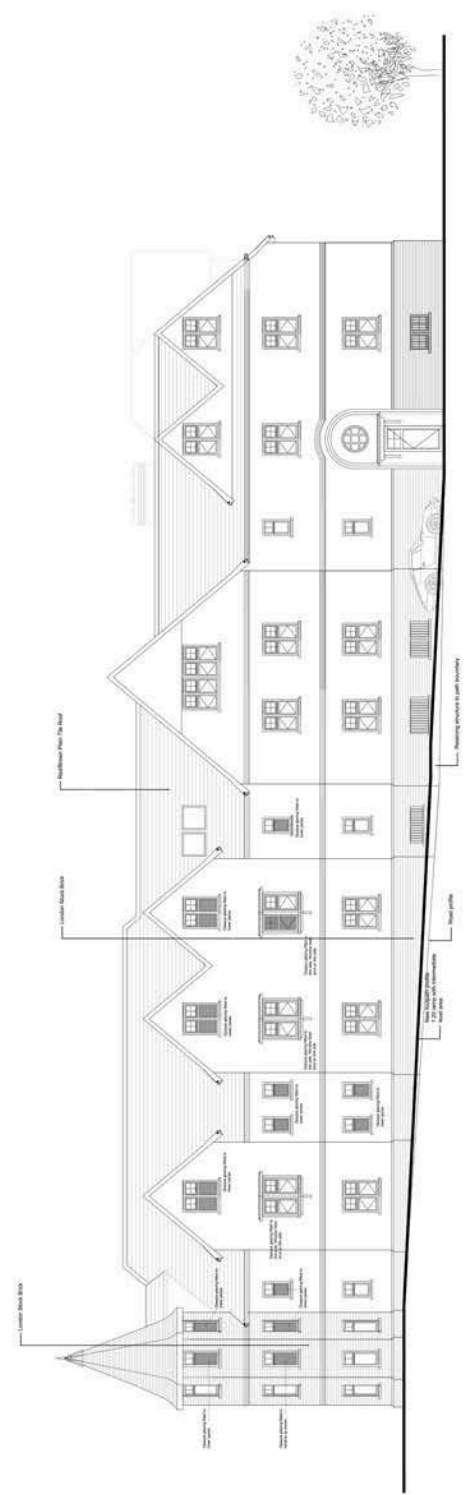
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PROJECT  
REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA0 2YF

TITLE  
NORTHEAST ELEVATIONS  
COMPARISON OF WORKING  
AND PLANNING DRAWINGS

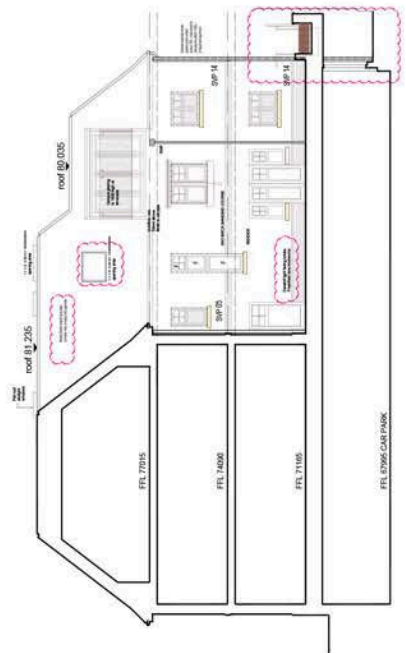
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DATE:	MARCH 2013
SCALE:	B1:A1
DATE:	1:100
DESIGNED BY:	IP
REVIEWED BY:	IP
DATE:	1586
PC:	302
DATE:	1586
PC:	302

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NORTH EAST ELEVATION AS PROPOSED - PLANNING





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 DRAWINGS TO THE PLANNING SET  
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 Website: www.agora.com

RUSNOCK HOLDINGS LTD

PROJECT  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA0 2YF

TITLE  
 NORTHWEST ELEVATIONS  
 COMPARISON OF WORKING  
 AND PLANNING DRAWINGS

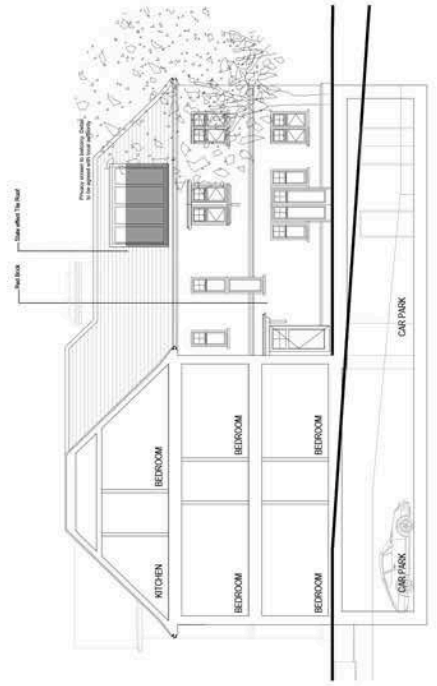
STATUS  
 PLANNING CONDITIONS  
 DATE: MARCH 2013  
 SCALE: B1:1  
 DRAWN BY: TP  
 CHECKED BY: TP

1586 PC 301

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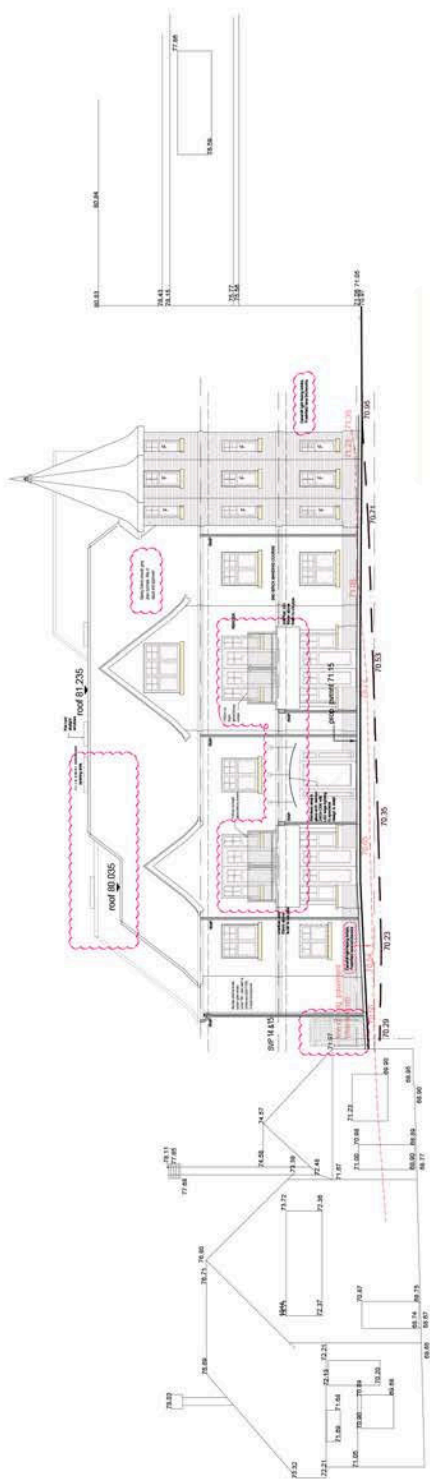


NORTH WEST ELEVATION AS PROPOSED - PLANNING



NORTH WEST (COURTYARD) ELEVATION AS PROPOSED  
 PLANNING





ADJOINING HOUSE ELEVATION

GOLF SHOP - FRONT ELEVATION

AREA ENCLOSED THIS TO INDICATE  
THE POSITION OF THE PROPOSED  
DOORS TO BE INTRODUCED FROM  
THE SUBMITTED PLANNING SET



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CLIENT  
RUSNACK HOLDINGS LTD

PROJECT  
REINDEER PUBLIC HOUSE  
MAXWELL ROAD  
NORTHWOOD HA6 2YF

TITLE  
SOUTHEAST ELEVATIONS  
COMPARISON OF WORKING  
AND PLANNING DRAWINGS

STATUS  
PLANNING CONDITIONS

DATE  
MARCH 2013

SCALE (A1)  
1:100

DRAWN BY  
JP

CHECKED BY  
JP

DATE OF REVISION  
1586 PC 303

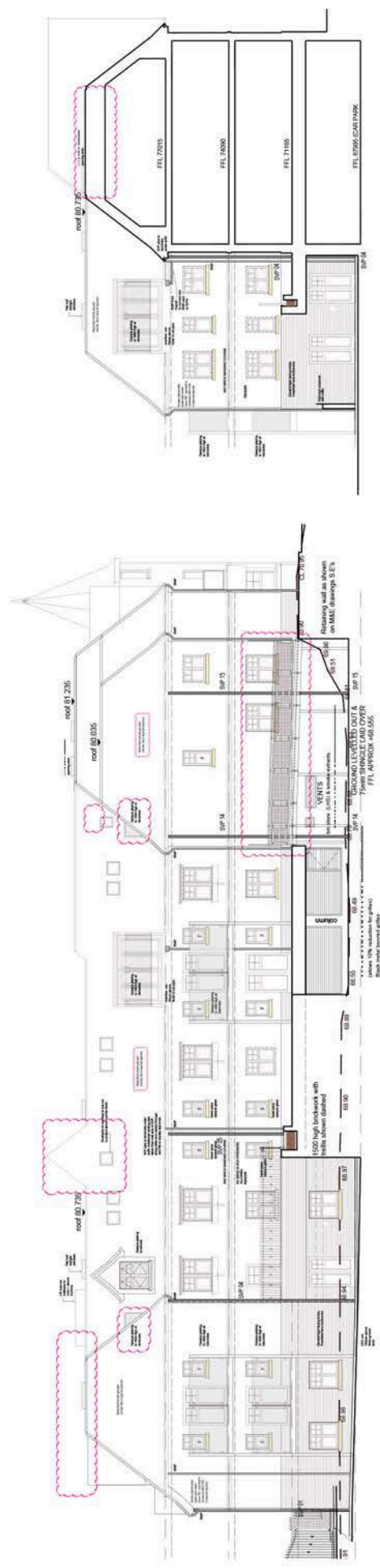
DATE OF REVISION  
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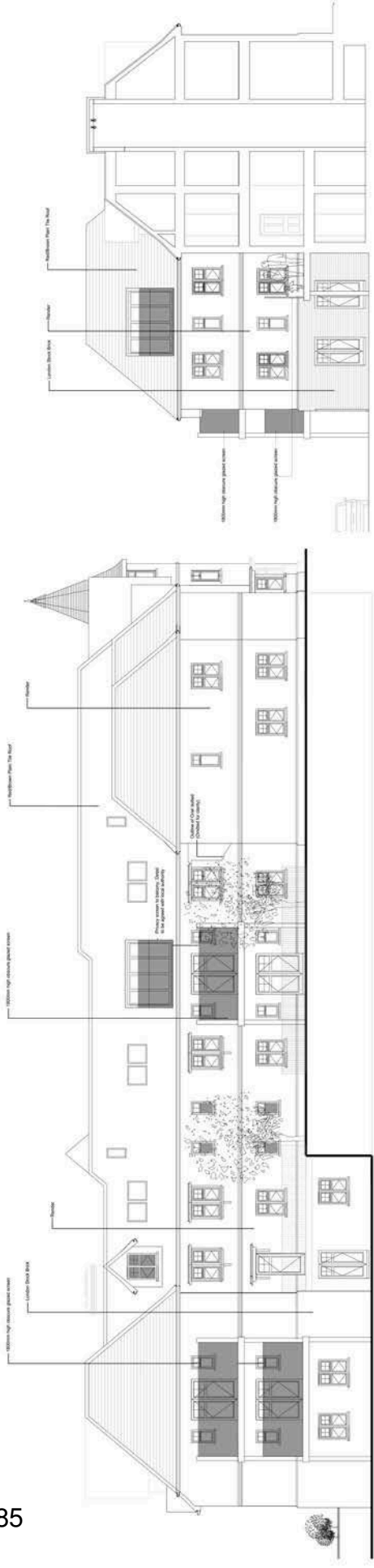


SOUTH EAST ELEVATION AS PROPOSED - PLANNING





NOTE  
 AREA ENCLOSED THIS TO INDICATE  
 THE LOCATION OF THE  
 CHANGING ROOMS TO BE ADDED TO  
 THE SUBMITTED PLANNING SET



SOUTH WEST ( COURTYARD ) ELEVATION AS PROPOSED - PLANNING

SOUTH EAST ( COURTYARD ) ELEVATION AS PROPOSED PLANNING



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PROJECT  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA2 2YF

TITLE  
 SOUTHWEST & SOUTHEAST  
 (COURTYARD) ELEVATIONS  
 COMPARISON OF WORKINGS  
 AND PLANNING DRAWINGS

PLANNING CONDITIONS  
 DATE: MARCH 2013  
 SCALE @ A1: 1:100  
 DRAWN BY: TP  
 CHECKED BY: TP

1586 PC 300  
 Client: [Redacted]

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 DRAWING NO. 1586 - 012 &  
 817**

**NOTE: ALL DIMENSIONS & LEVELS  
 INDICATIVE & MAY VARY ACCORDING TO  
 SITE CONDITIONS**

Guarding to withstand vertical force as set out  
 in BS5399: 1996 Loading for buildings: Part 1:  
 Code of Practice for dead & imposed loads.  
 Construction to be such that a 100mm dia  
 sphere cannot pass through any opening in  
 the guarding.



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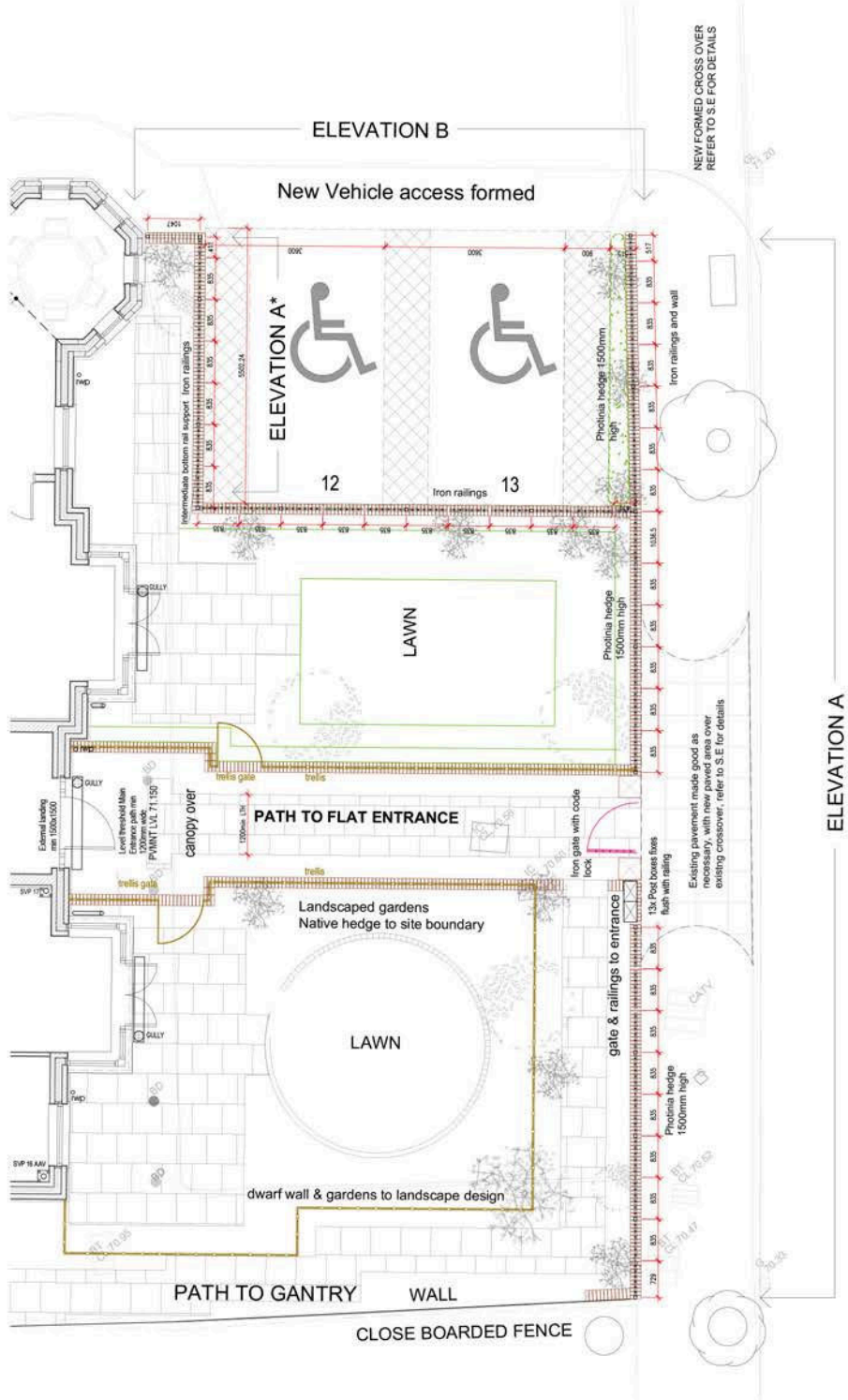
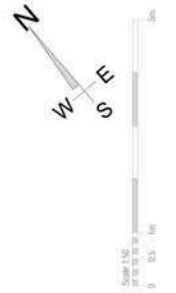
CLIENT:  
 RUSNOCK HOLDINGS LTD

PROJECT:  
 REINDEER PUBLIC HOUSE  
 MAXWELL ROAD  
 NORTHWOOD HA6 2YF

TITLE:  
 RAILINGS AT SOUTH EAST  
 ELEVATION  
 PLANS

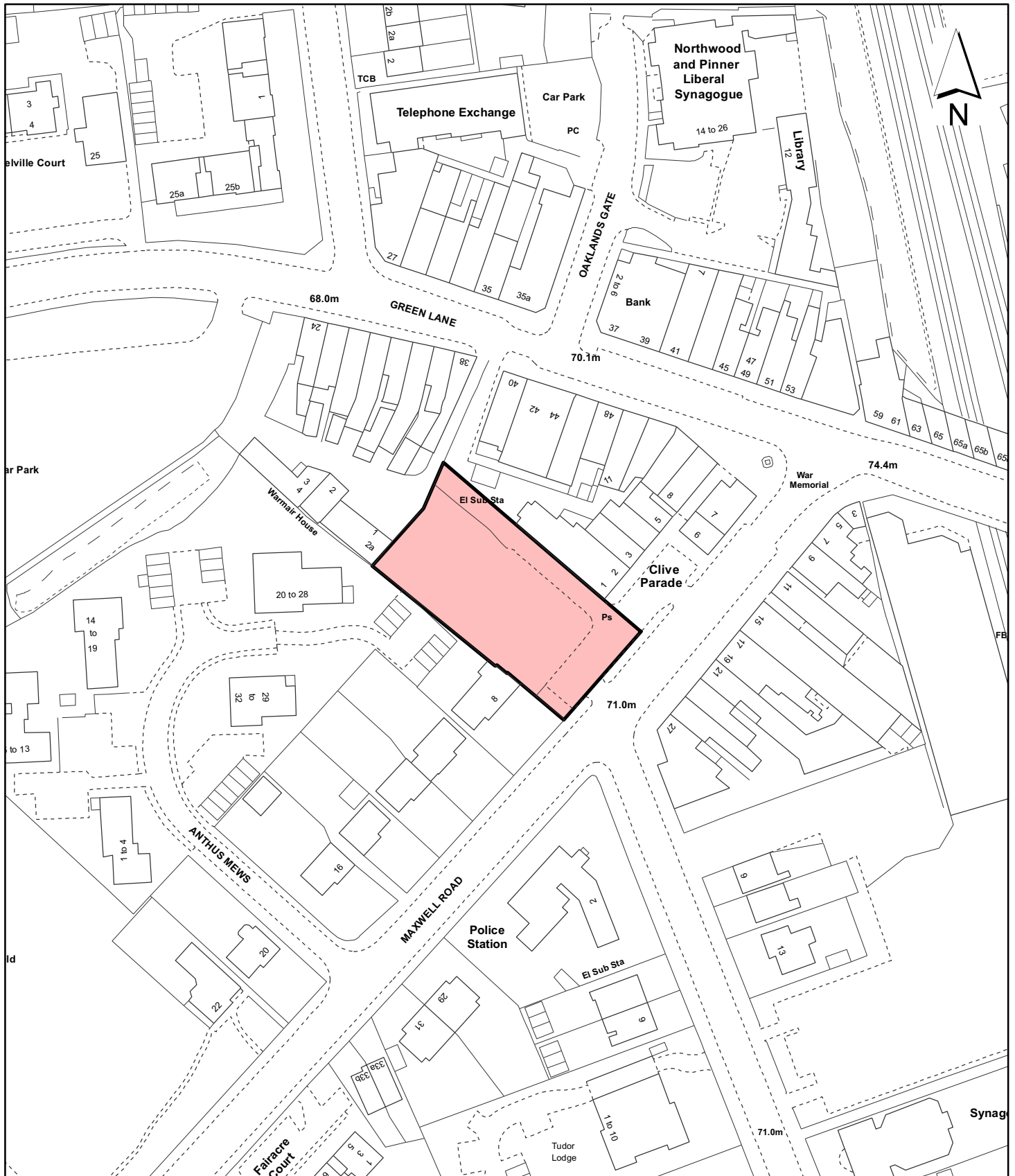
PLANNING CONDITIONS	
DATE:	MARCH 2013
SCALE:	A1 1:50
DESIGNED BY:	RG
REVIEWED BY:	TP
PROJECT NUMBER:	1586 PC 816
CAD FILE VERSION:	01

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Site Address

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Maxwell Road  
Northwood**

Planning Application Ref:

**18958/APP/2013/694**

Planning Committee

**Major Applications**

Scale

**1:1,250**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON**

**Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

**Address** HERMITAGE SCHOOL NURSERY & LANCASTER CENTRE SITE  
LANCASTER ROAD UXBRIDGE

**Development:** Application to vary condition 2 (to allow for amendments to the stair cores on the rear elevation) of planning permission ref:68164/APP/2011/2711 dated 28/11/2012 for Alterations and conversion of the existing Lancaster Centre building into 7 self-contained flats. Demolition of the existing Hermitage Nurse Building and construction of a two storey (with accommodation in roof) block of 12 flats with associated car parking, soft and hard landscaping (19 residential flats in total).

**LBH Ref Nos:** 68164/APP/2013/758

**Date Plans Received:** 27/03/2013

**Date(s) of Amendment(s):**

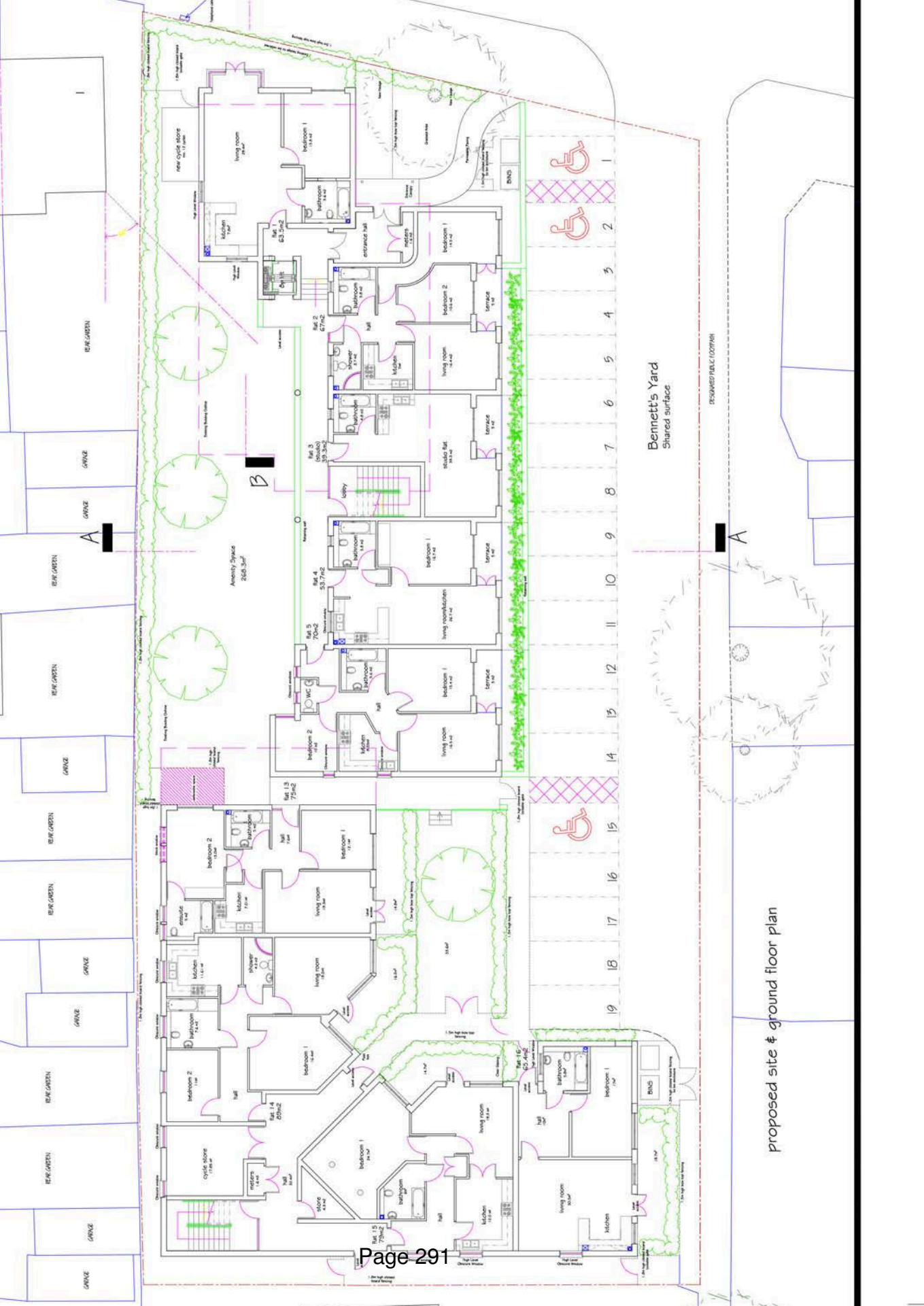
**Date Application Valid:** 27/03/2013

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE USED FOR PERMITTING PURPOSES ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REV. notes: date:  
 A. Revisions to internal layouts, minor external changes Mar 13  
 B. Revisions to suit variation of foundation 2. May 13  
 C. Revisions to suit variation of foundation 2. May 13

Richard Keys Associates 21 Ponds Court Potlatch Bar Hertfordshire England EN9 2SA t 07545497888 e richard.keys@rocketmail.com

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Project :  
 Proposed Housing  
 Development at  
 Lancaster House & The  
 Hermitage, Bennets  
 Yard,  
 Drawing Title :  
 Planning Drawing:  
 Proposed Site & Ground  
 Floor Layout  
 Scale: 1:100  
 Date : February 2013

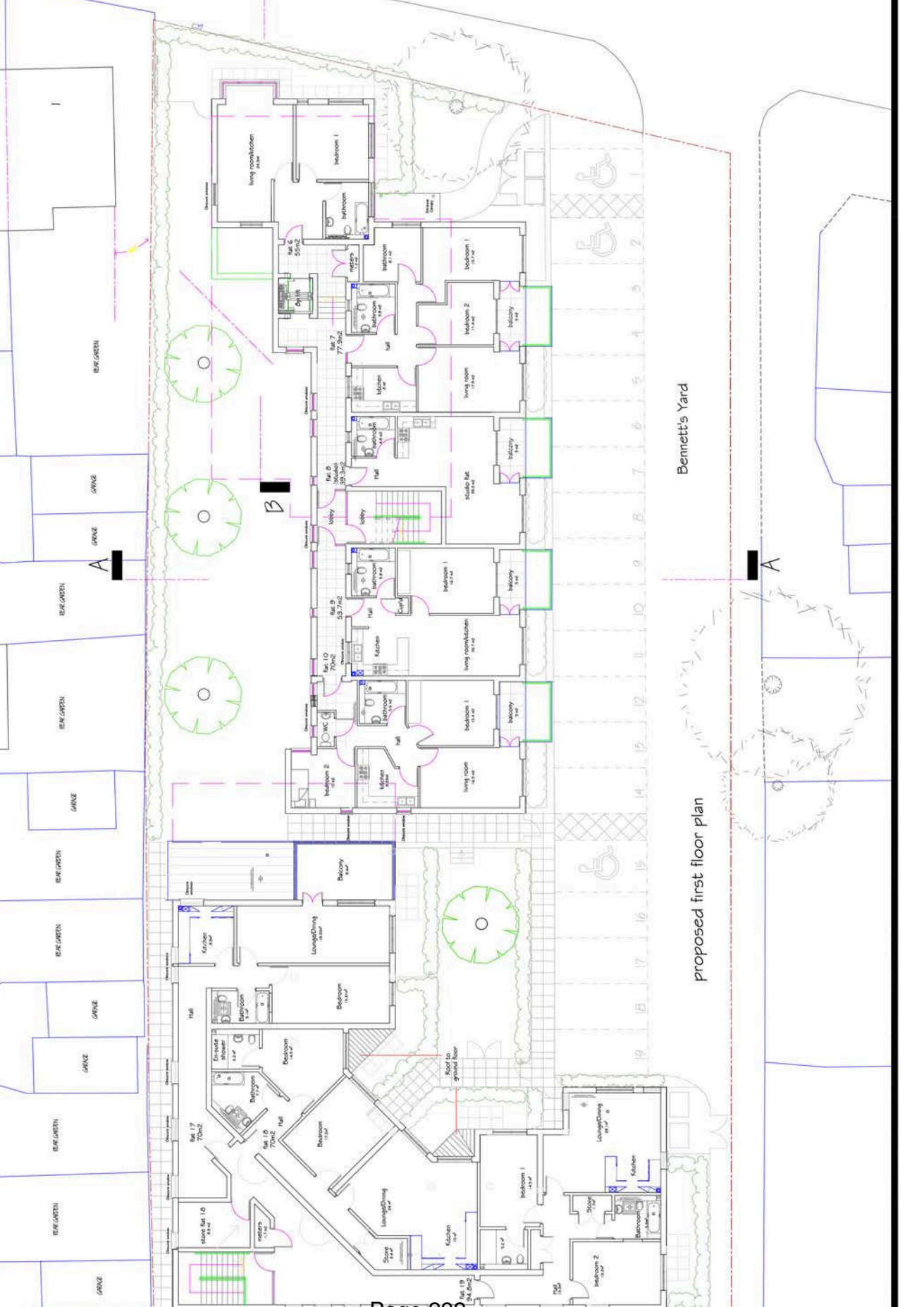
Dwg No. AO10213/DP1  
 Revision No. C

proposed site & ground floor plan

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED DIMENSIONS. ANY DIMENSIONS ARE TO BE REPORTED TO THE ARCHITECTS IMMEDIATELY. DIMENSIONS SHOWN & TREATED. ALL DIMENSIONS TO COMPLY WITH BS 5262 & BS 5263. REFERENCES TO BULLETIN STANDARDS & CODES OF PRACTICE ARE TO BE TAKEN AS CORRECT AT THE TIME OF ORIGINAL DRAWING RELEASE.

rev. notes: date: Mar 13  
A Revisions to internal layouts, minor external changes  
B Revisions to suit variation of foundation 2. May 13  
3

Richard Keys Associates 21 Powis Court, Potters Bar, Hertfordshire, England EN6 2SA t: 0754587888 e: richard.keys@rockinmail.com

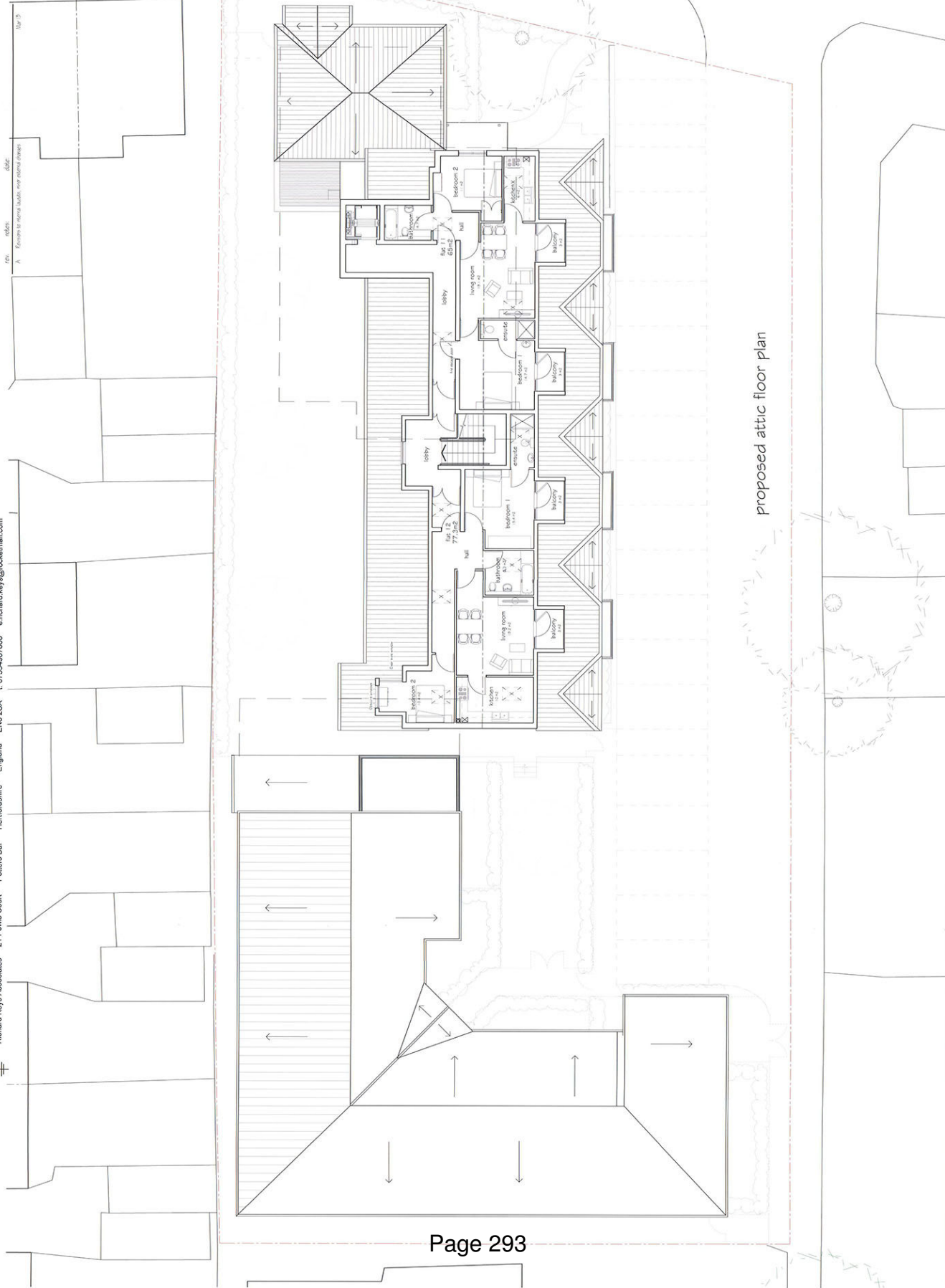


Bennett's Yard

proposed first floor plan

Project : Proposed Housing Development at Lancaster House & The Hermitage, Bennets Yard,  
Drawing Title : Planning Drawing: Proposed First Floor Layout  
Scale: 1:100  
Date : February 2013

Dwg No. AO10213/DP2  
Revision No. B



proposed attic floor plan

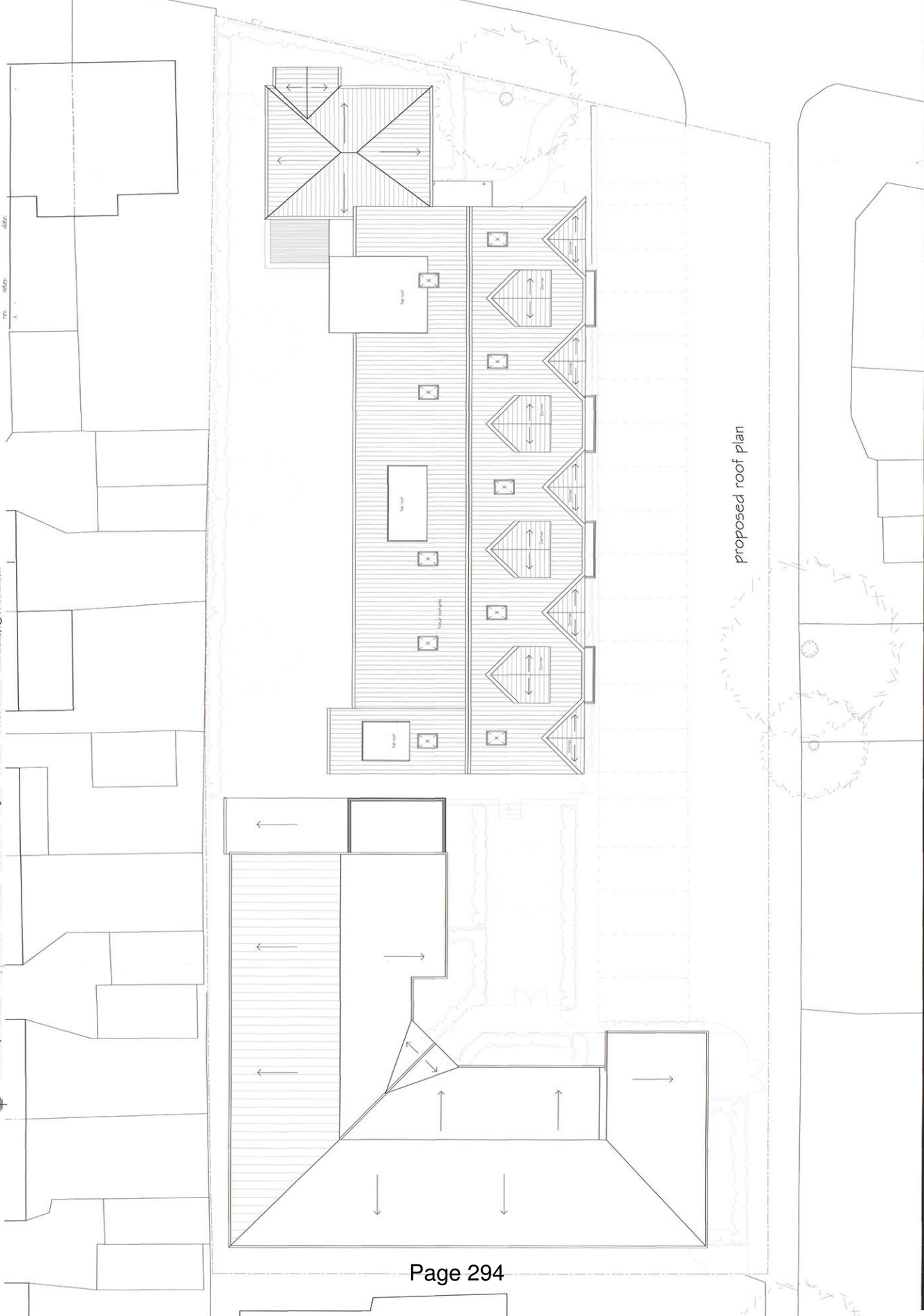
It is the responsibility of the client to ensure that the proposed development complies with all relevant planning and building regulations. The architect's role is to provide a design that meets the client's requirements and complies with the relevant regulations. The architect does not accept liability for any errors or omissions in this drawing.

Project : Proposed Housing Development at Lancaster House & The Vergerie, Bennets Yard.  
Drawing Title : Planning Drawing: Proposed Attic Floor Layout  
Scale: 1:100  
Date: February 2013  
Dwg No: AQ | 02 | 3|DF3  
Revision No. A

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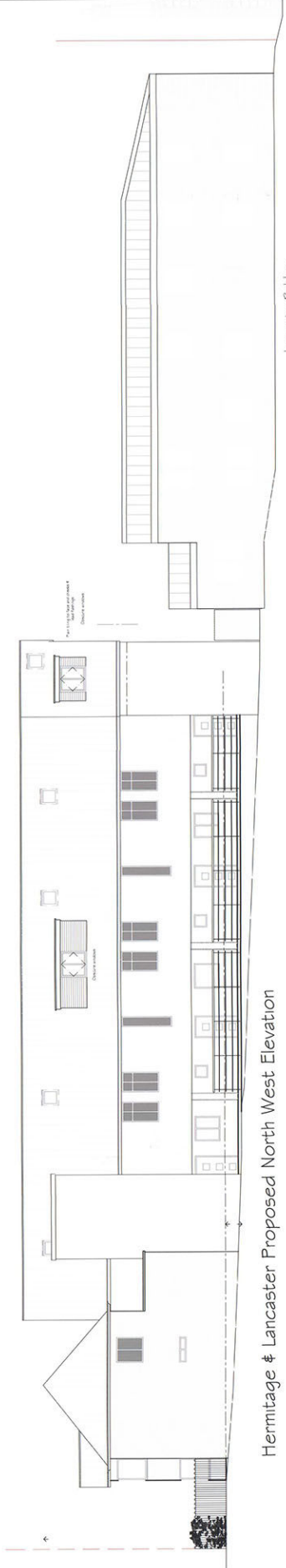
PLANNING PERMISSION RECEIVED  
27 Aug 2018  
PLANNING & TRANSPORTATION GROUP

Project : Proposed Housing Development at Hincaster House & The Heritage Barns, Bennetts Yard,  
Drawing Title : Planning Drawing: Proposed Roof Plan  
Scale : 1:100  
Date : February 2013



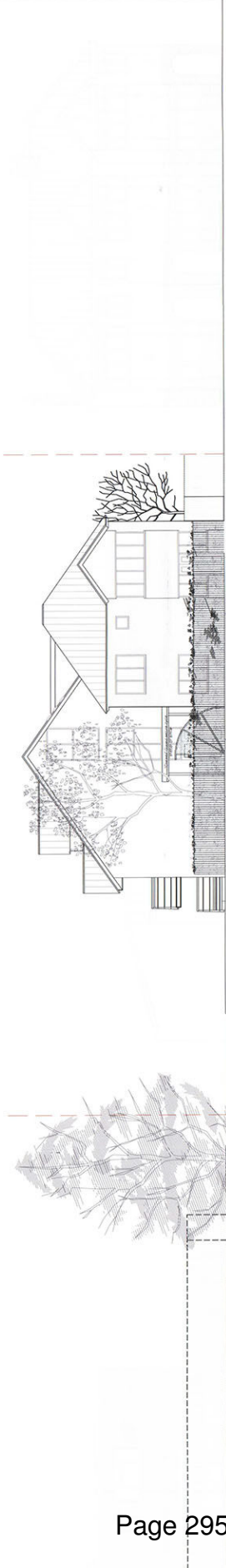
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REV. NO. DATE  
A. APPROVED FOR ISSUE



Hermitage & Lancaster Proposed North West Elevation

Lancaster Building



Hermitage Proposed North East Elevation (Lancaster Road)



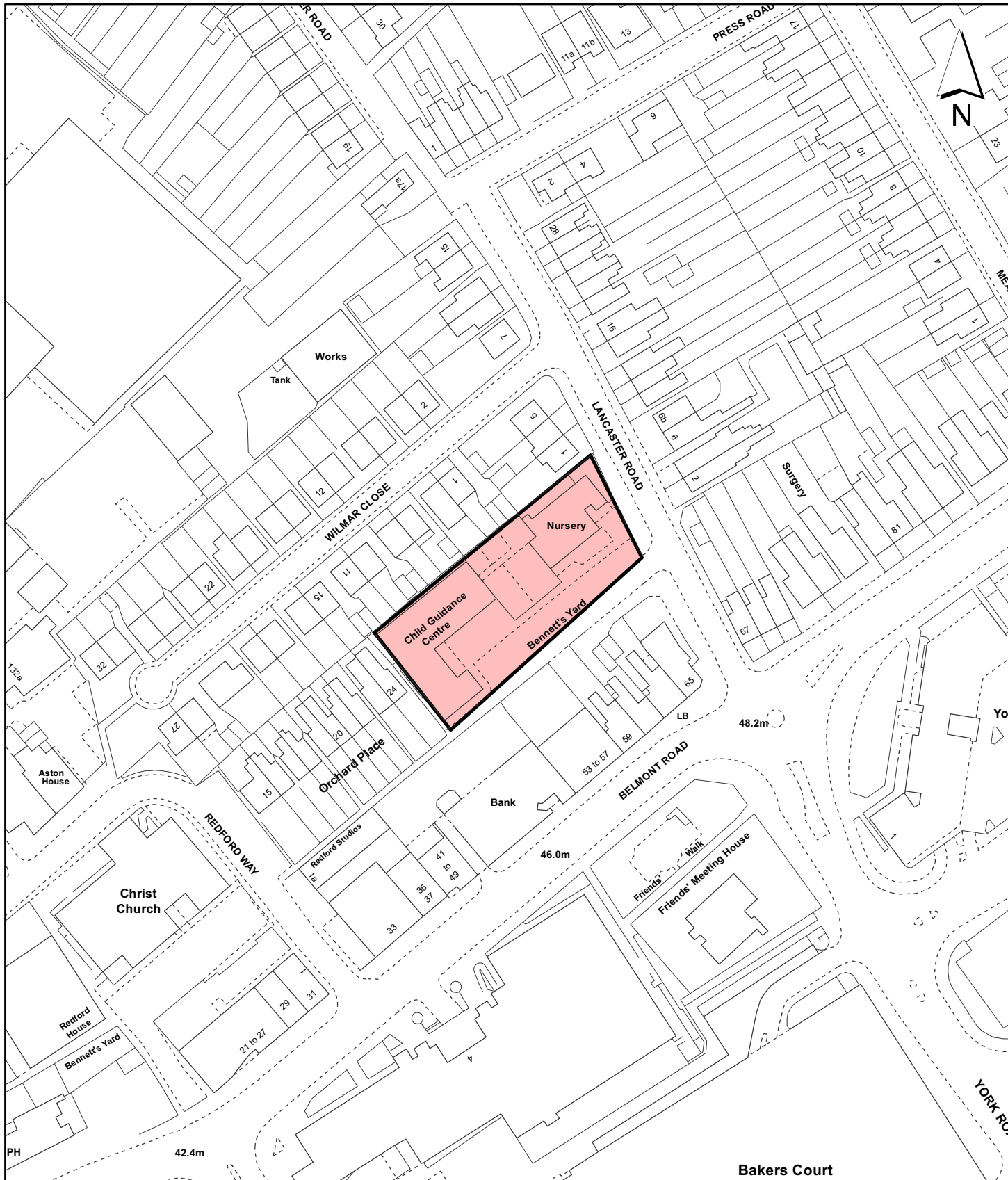
Hermitage & Lancaster Proposed South East Elevation (Bennett's Yard)

Lancaster Building


Project :  
Proposed Housing  
Development at  
Lancaster House & The  
Hermitage, Bennetts  
Yard.

Drawing Title :  
Planning Drawing:  
Proposed Elevations  
Sheet 1 of 2  
Scale: 1:100  
Date: February 2013





**Notes**

 Site boundary

For identification purposes only.

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Site Address	
<b>Hermitage School Nursery and Lancaster Centre Site Lancaster Road, Uxbridge</b>	
Planning Application Ref:	Scale
<b>68164/APP/2013/758</b>	<b>1:1,250</b>
Planning Committee	Date
<b>Major Applications</b>	<b>May 2013</b>

**LONDON BOROUGH  
OF HILLINGDON**

**Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON



## **Report of the Head of Planning, Sport and Green Spaces**

**Address** FORMER RAF UXBRIDGE HILLINGDON ROAD UXBRIDGE

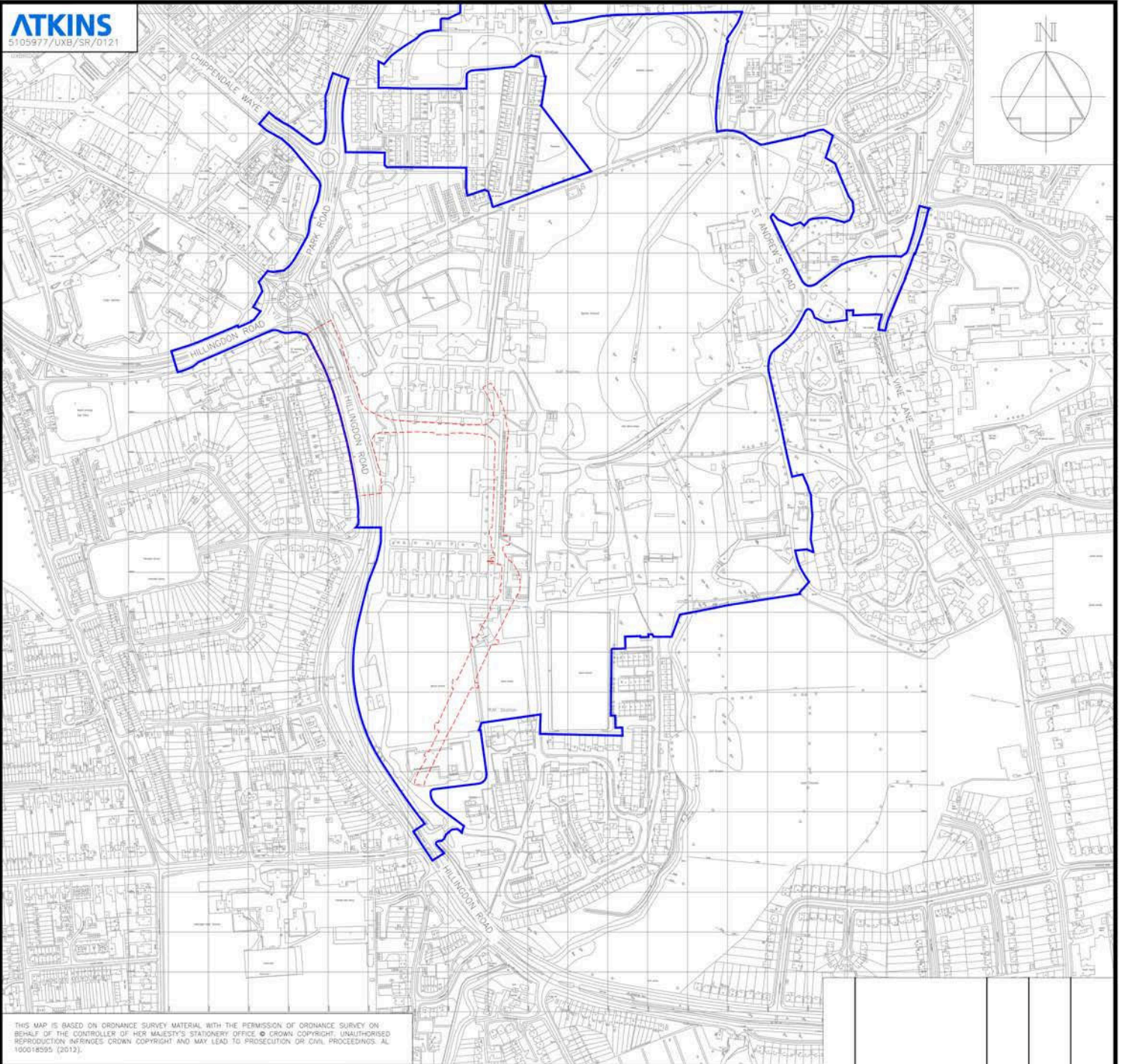
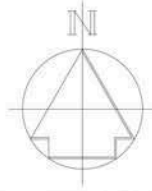
**Development:** Reserved matters (appearance, landscaping, layout and scale) in compliance with conditions 2 and 3 for Infrastructure Phase, comprising detailed design of the new ' Spine Road' of planning permission ref: 585/APP/2009/2752 dated 18/01/2012 for a new mixed used development at St Andrews Park (Former RAF Uxbridge Site).

**LBH Ref Nos:** 585/APP/2013/759

**Date Plans Received:** 27/03/2013

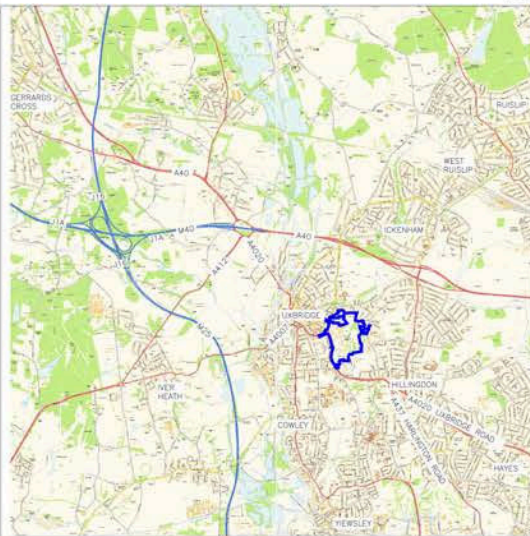
**Date(s) of Amendment(s):**

**Date Application Valid:** 27/03/2013

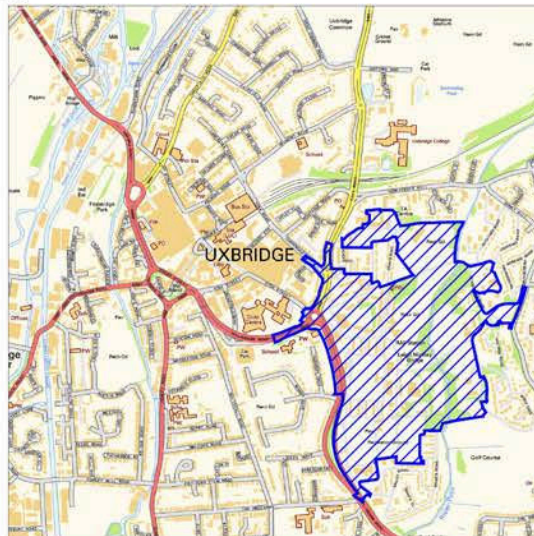


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SCALE: 1:2,500



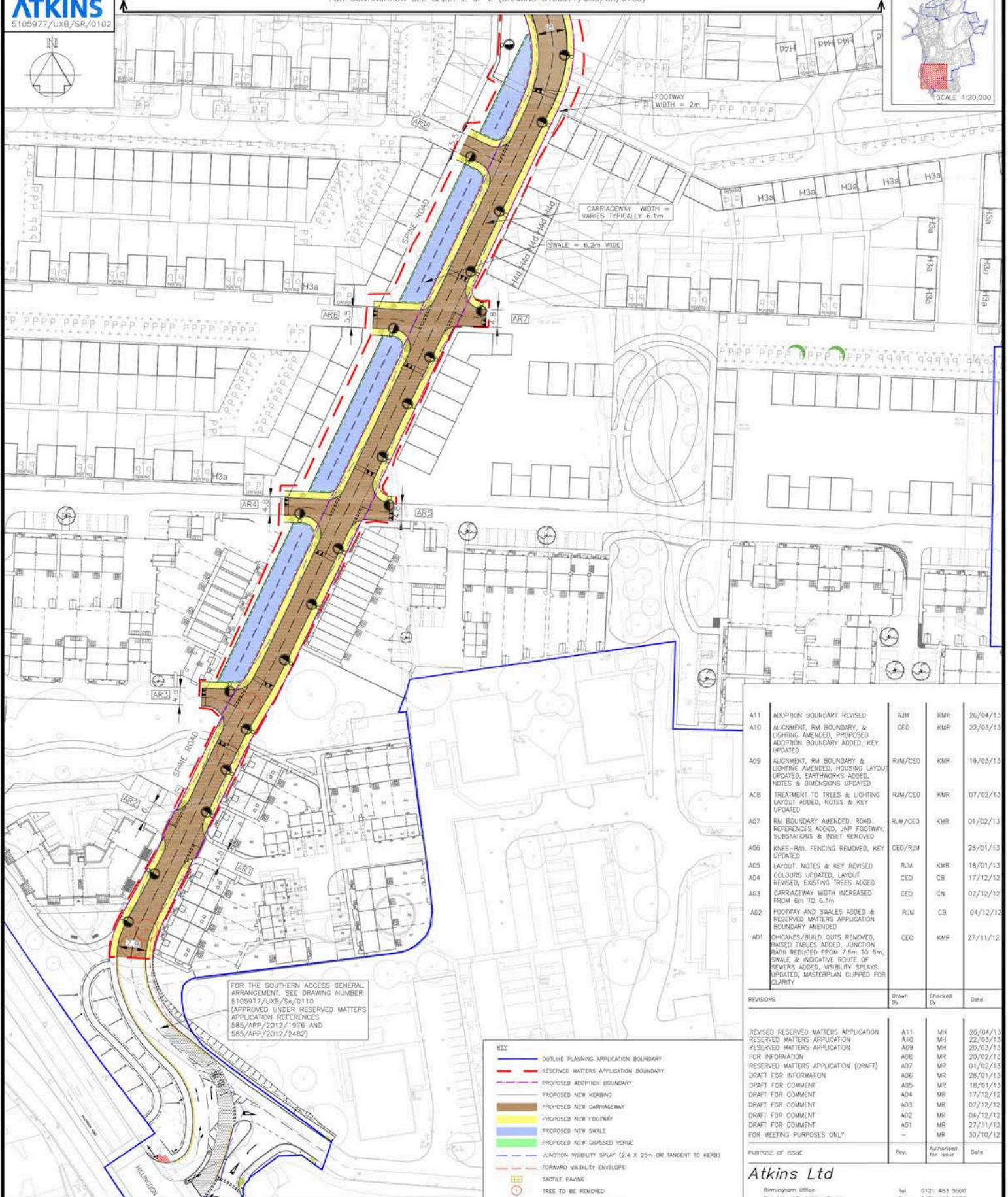
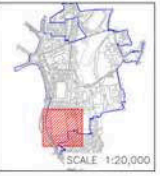
SCALE: 1:50,000  
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SCALE: 1:10,000  
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- KEY**
- OUTLINE PLANNING APPLICATION BOUNDARY
  - OUTLINE PLANNING APPLICATION AREA
  - RESERVED MATTERS APPLICATION BOUNDARY

REVISIONS	Drawn By	Checked By	Date
RESERVED MATTERS APPLICATION		MH	30/03/13
PURPOSE OF ISSUE:	Rev:	Authorised for issue:	Date
<b>Atkins Ltd</b>			
Birmingham Office The Axis, 10 Holloway Street Birmingham		Tel: 0121 483 5000 Fax: 0121 483 5252	
THIS DRAWING IS NOT TO BE SCALED			
CLIENT			
VSM ESTATES LTD			
PROJECT			
UXBRIDGE			
DRAWING TITLE			
SPINE ROAD			
SITE LOCATION PLAN			
Scale	Drawn	Checked	CS-DRG CHECK
AS SHOWN	RJM	CN	KMR
DATE	DATE	DATE	DATE
20/12/12	20/12/12	20/01/13	20/03/13
0		SHEET	PLOT DATE
0		A1	20/03/13
DRAWING NO		REV	
5105977/UXB/SR/0121			



FOR THE SOUTHERN ACCESS GENERAL ARRANGEMENT, SEE DRAWING NUMBER 5105977/UXB/SA/0110 (APPROVED UNDER RESERVED MATTERS APPLICATION REFERENCES 585/APP/2012/1976 AND 585/APP/2012/2482)

- KEY**
- OUTLINE PLANNING APPLICATION BOUNDARY
  - RESERVED MATTERS APPLICATION BOUNDARY
  - PROPOSED ADOPTION BOUNDARY
  - PROPOSED NEW KERBING
  - PROPOSED NEW CARRIAGEWAY
  - PROPOSED NEW FOOTWAY
  - PROPOSED NEW SWALE
  - PROPOSED NEW GRASSED VERGE
  - JUNCTION VISIBILITY SPREAD (2.4 x 25m OR TANGENT TO KERB)
  - FORWARD VISIBILITY ENVELOPE
  - TACTILE PAVING
  - TREE TO BE REMOVED
  - PROPOSED LIGHTING COLUMN
  - ROAD REFERENCE

NO.	DESCRIPTION	RJM	KMR	DATE
A11	ADOPTION BOUNDARY REVISED	RJM	KMR	26/04/13
A10	ALIGNMENT, RM BOUNDARY, & LIGHTING AMENDED, PROPOSED ADOPTION BOUNDARY ADDED, KEY UPDATED	CEO	KMR	22/03/13
A09	ALIGNMENT, RM BOUNDARY & LIGHTING AMENDED, HOUSING LAYOUT UPDATED, EARTHWORKS ADDED, NOTES & DIMENSIONS UPDATED	RJM/CEO	KMR	19/03/13
A08	TREATMENT TO TREES & LIGHTING LAYOUT ADDED, NOTES & KEY UPDATED	RJM/CEO	KMR	07/02/13
A07	RM BOUNDARY AMENDED, ROAD REFERENCES ADDED, JAP FOOTWAY, SUBSTATIONS & INSET REMOVED	RJM/CEO	KMR	01/02/13
A06	KNEE-RAIL FENCING REMOVED, KEY UPDATED	CEO/RJM		28/01/13
A05	LAYOUT, NOTES & KEY REVISED	RJM	KMR	18/01/13
A04	REVISED, EXISTING TREES ADDED	CEO	CB	17/12/12
A03	CARRIAGEWAY WIDTH INCREASED FROM 6m TO 6.1m	CEO	CN	07/12/12
A02	FOOTWAY AND SWALES ADDED & RESERVED MATTERS APPLICATION BOUNDARY AMENDED	RJM	CB	04/12/12
A01	CHICANES/BUILD OUTS REMOVED, RAISED TABLES ADDED, JUNCTION RAIN REDUCED FROM 7.5m TO 5m, SWALE & INDICATIVE ROUTE OF SEWERS ADDED, VISIBILITY SPREADS UPDATED, MASTERPLAN CLIPPED FOR CLARITY	CEO	KMR	27/11/12

REVISIONS	Drawn By	Checked By	Date
RESERVED RESERVED MATTERS APPLICATION	A11	MH	26/04/13
RESERVED MATTERS APPLICATION	A10	MH	22/03/13
FOR INFORMATION	A09	MH	20/03/13
RESERVED MATTERS APPLICATION (DRAFT)	A08	MR	20/02/13
DRAFT FOR INFORMATION	A07	MR	01/02/13
DRAFT FOR COMMENT	A06	MR	28/01/13
DRAFT FOR COMMENT	A05	MR	18/01/13
DRAFT FOR COMMENT	A04	MR	17/12/12
DRAFT FOR COMMENT	A03	MR	07/12/12
DRAFT FOR COMMENT	A02	MR	04/12/12
FOR MEETING PURPOSES ONLY	A01	MR	27/11/12
			30/10/12

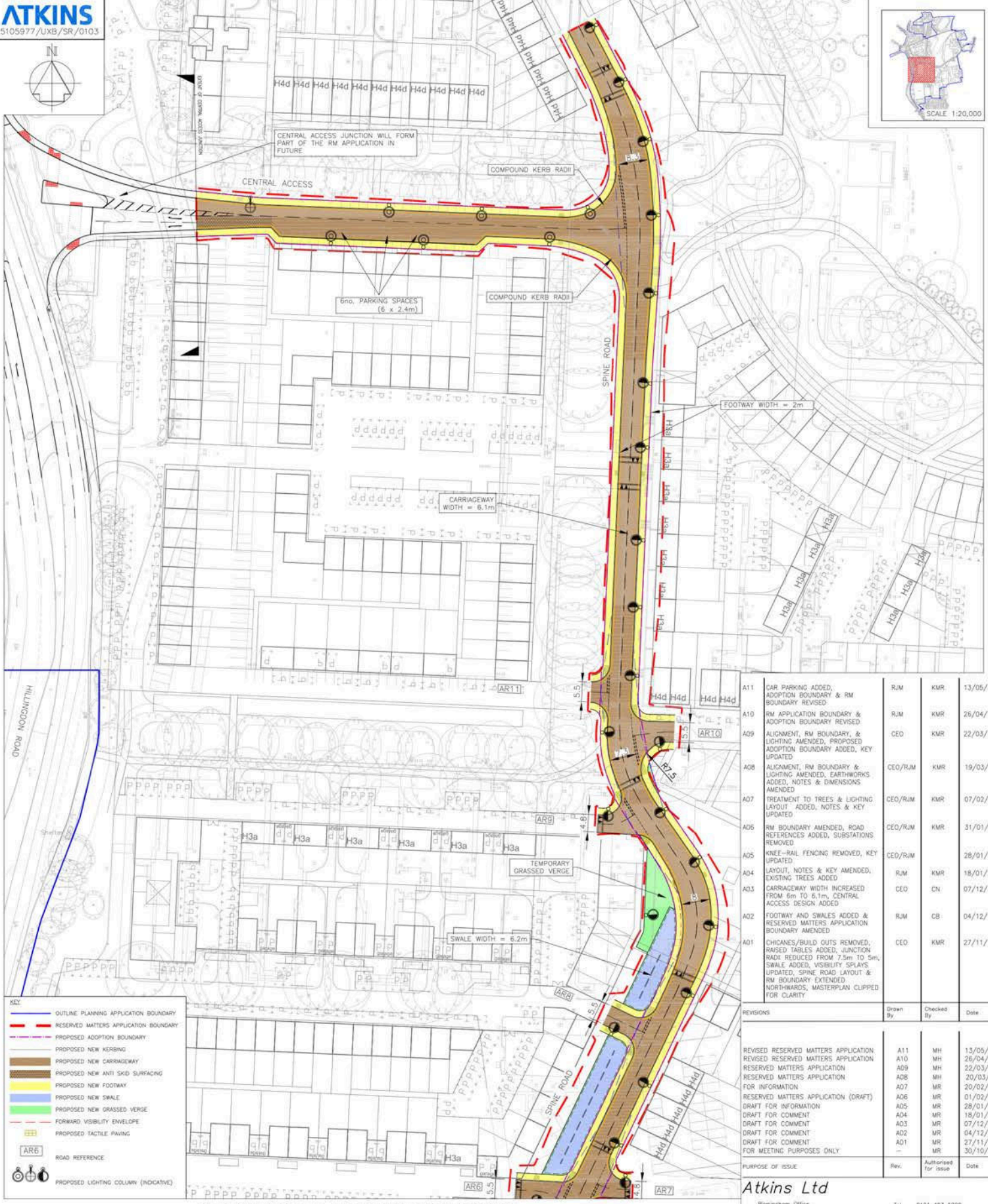
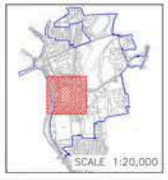
**Atkins Ltd**  
Birmingham Office  
The Axis, 10 Holiday Street  
Birmingham  
West Midlands B1 1TF  
Tel 0121 483 9000  
Fax 0121 483 9252

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  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBERS:
    - 3300-10-101 Rev 0 BY SHEPPARD ROBSON (MASTERPLAN)
    - PERS120807-SLO1 Rev A (St Andrews Park, Uxbridge - Phase 1C - Site Layout) BY TETLOW KING.
    - PERS120903-SLO3 Rev E (St Andrews Park, Uxbridge - Phase 1D - Site Layout) BY TETLOW KING.
  - ALL JUNCTION KERB RADI 5m UNLESS SHOWN OTHERWISE.
  - FOR ROAD/SWALE CROSS SECTIONS, SEE DRAWING NUMBER 5105977/UXB/SR/0141 AND LANDSCAPE ARCHITECT DRAWINGS (BY ALLEN PYKE ASSOCIATES).
  - FOR INFORMATION RELATING TO EXISTING TREES, REFER TO DRAWINGS BY ALLEN PYKE ASSOCIATES (LANDSCAPE ARCHITECT) & AGRICULTURAL IMPACT ASSESSMENT.
  - FOR FULL DETAILS OF HARD AND SOFT LANDSCAPING, SEE DRAWINGS BY ALLEN PYKE ASSOCIATES (LANDSCAPE ARCHITECT).
  - ALL ROAD MARKINGS SHALL BE IN ACCORDANCE WITH TRAFFIC SIGNS REGULATIONS AND GENERAL DIRECTIONS.

CLIENT	VSM ESTATES LTD		
PROJECT	UXBRIDGE		
DRAWING TITLE	SPINE ROAD GENERAL ARRANGEMENT SHEET 1 OF 2		
Scale	1:500	CHECKED	00-00 CHECK
		CEO	KMR
	DATE	DATE	DATE
	29/10/12	30/10/12	30/10/12
		SHEET	PLOT DATE
		A1	26/04/13
DRAWING NO	5105977/UXB/SR/0102		REV
			A11



NO	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
A11	CAR PARKING ADDED, ADOPTION BOUNDARY & RM BOUNDARY REVISED	RJM	KMR	13/05/13
A10	RM APPLICATION BOUNDARY & ADOPTION BOUNDARY REVISED	RJM	KMR	26/04/13
A09	ALIGNMENT, RM BOUNDARY, & LIGHTING AMENDED, PROPOSED ADOPTION BOUNDARY ADDED, KEY UPDATED	CEO	KMR	22/03/13
A08	ALIGNMENT, RM BOUNDARY & LIGHTING AMENDED, EARTHWORKS ADDED, NOTES & DIMENSIONS AMENDED	CEO/RJM	KMR	19/03/13
A07	TREATMENT TO TREES & LIGHTING LAYOUT ADDED, NOTES & KEY UPDATED	CEO/RJM	KMR	07/02/13
A06	RM BOUNDARY AMENDED, ROAD REFERENCES ADDED, SUBSTATIONS REMOVED	CEO/RJM	KMR	31/01/13
A05	KNEE-RAIL FENCING REMOVED, KEY LAYOUT, NOTES & KEY AMENDED, EXISTING TREES ADDED	CEO/RJM	KMR	28/01/13
A04	CARRIAGEWAY WIDTH INCREASED FROM 6m TO 6.1m, CENTRAL ACCESS DESIGN ADDED	RJM	CM	18/01/13
A03	FOOTWAY AND SWALES ADDED & RESERVED MATTERS APPLICATION BOUNDARY AMENDED	CEO	CB	07/12/12
A02	CHICANES/BUILD OUTS REMOVED, RAISED TABLES ADDED, JUNCTION ROAD REDUCED FROM 7.5m TO 5m, SWALE ADDED, VISIBILITY SPLANS UPDATED, SPINE ROAD LAYOUT & RM BOUNDARY EXTENDED NORTHWARDS, MASTERPLAN CLIPPED FOR CLARITY	RJM	CB	04/12/12
A01	CHICANES/BUILD OUTS REMOVED, RAISED TABLES ADDED, JUNCTION ROAD REDUCED FROM 7.5m TO 5m, SWALE ADDED, VISIBILITY SPLANS UPDATED, SPINE ROAD LAYOUT & RM BOUNDARY EXTENDED NORTHWARDS, MASTERPLAN CLIPPED FOR CLARITY	CEO	KMR	27/11/12

**KEY**

- OUTLINE PLANNING APPLICATION BOUNDARY
- RESERVED MATTERS APPLICATION BOUNDARY
- PROPOSED ADOPTION BOUNDARY
- PROPOSED NEW CARRIAGEWAY
- PROPOSED NEW ANTI SKD SURFACING
- PROPOSED NEW FOOTWAY
- PROPOSED NEW SWALE
- PROPOSED NEW GRASSED VERGE
- - - FORWARD VISIBILITY ENVELOPE
- PROPOSED TACTILE PAVING
- ROAD REFERENCE
- PROPOSED LIGHTING COLUMN (INDICATIVE)

**REVISIONS**

NO	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
REVISED RESERVED MATTERS APPLICATION	A11	MH	MH	13/05/13
REVISED RESERVED MATTERS APPLICATION	A10	MH	MH	26/04/13
RESERVED MATTERS APPLICATION	A09	MH	MH	22/03/13
RESERVED MATTERS APPLICATION FOR INFORMATION	A08	MH	MH	20/03/13
RESERVED MATTERS APPLICATION (DRAFT)	A07	MR	MR	20/02/13
DRAFT FOR INFORMATION	A06	MR	MR	01/02/13
DRAFT FOR COMMENT	A05	MR	MR	28/01/13
DRAFT FOR COMMENT	A04	MR	MR	18/01/13
DRAFT FOR COMMENT	A03	MR	MR	07/12/12
DRAFT FOR COMMENT	A02	MR	MR	04/12/12
DRAFT FOR COMMENT FOR MEETING PURPOSES ONLY	AD1	MR	MR	27/11/12
	AD2	MR	MR	30/10/12

FOR CONTINUATION SEE SHEET 1 OF 2 (DRAWING 5105977/UXB/SR/0102)

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  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 (MASTERPLAN) BY SHEPPARD ROBSON.
  - ALL JUNCTION KERB RADI 5m UNLESS SHOWN OTHERWISE.
  - FOR ROAD/SWALE CROSS SECTIONS, SEE DRAWING NUMBER 5105977/UXB/SR/0141 AND LANDSCAPE ARCHITECT DRAWINGS (BY ALLEN PYKE ASSOCIATES).
  - FOR TREATMENT TO EXISTING TREES, SEE DRAWING NUMBERS 2152-SP-TS-01 AND 2152-SP-TS-02 BY ALLEN PYKE ASSOCIATES (LANDSCAPE ARCHITECT) FOR DETAILS.
  - FOR FULL DETAILS OF HARD AND SOFT LANDSCAPING, SEE DRAWINGS BY ALLEN PYKE ASSOCIATES (LANDSCAPE ARCHITECT).
  - ALL ROAD MARKINGS SHALL BE IN ACCORDANCE WITH TRAFFIC SIGNS REGULATIONS AND GENERAL DIRECTIONS.
  - NORTHERN JUNCTION KERB RADIUS ALLOWS FOR LEFT-OUT AND RIGHT-IN MANOEUVRES OF 16.5m LONG FTA DESIGN ARTICULATED VEHICLE.
  - FOR TYPICAL CROSS SECTION DETAILS SEE DRAWING 5105977/UXB/SR/0141

**Atkins Ltd**  
Birmingham Office  
The Axis, 10 Holiday Street  
Birmingham  
West Midlands B1 1TF

Tel 0121 483 5000  
Fax 0121 483 5252

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**CLIENT**  
VSM ESTATES LTD

**PROJECT**  
UXBRIDGE

**DRAWING TITLE**  
SPINE ROAD  
GENERAL ARRANGEMENT  
SHEET 2 OF 2

Scale	Drawn	Checked	ISO-9001 CHECK
1:500	CEO	CN	KMR
	DATE 29/10/12	DATE 30/10/12	DATE 30/10/12

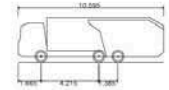
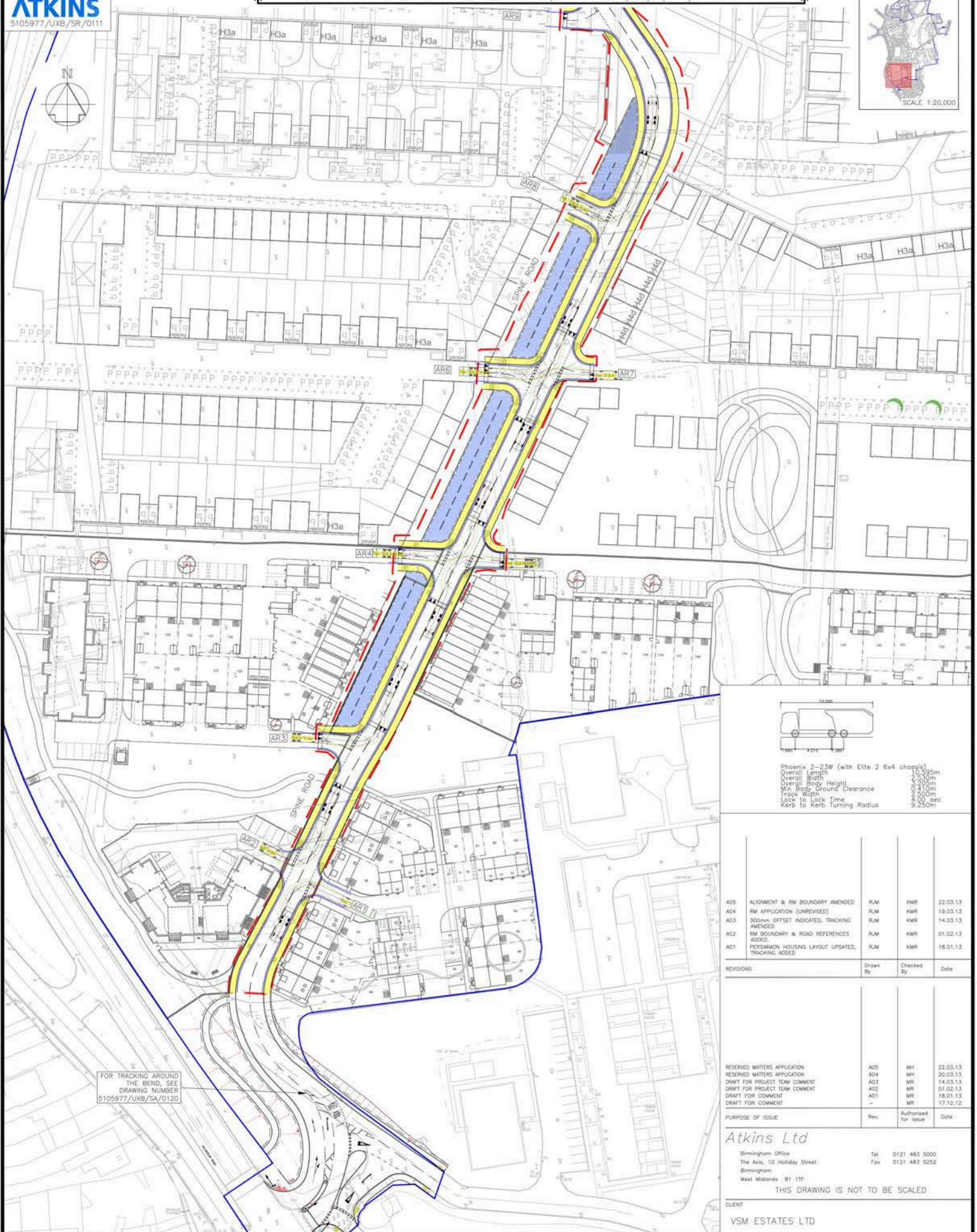
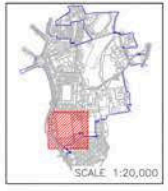
0 20 40 METRES

SHEET A1

PLOT DATE 13/05/13

DRAWING NO 5105977/UXB/SR/0103

REV A11



Phoenix 2-23W (with Elite 2 6x4 chassis)

Overall Length	15.500m
Overall Width	2.500m
Overall Body Height	3.400m
Min. Body Ground Clearance	2.000m
Track Width	2.000m
Lock to Lock Time	2.000 sec
Kerb to Kerb Turning Radius	9.250m

NO	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
A05	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A04	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A03	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A02	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13
A01	PERSIMMON HOUSING LAYOUT UPDATED, TRACKING ADDED	RJM	KMR	18.01.13

REVISIONS	Drawn By	Checked By	Date

RESERVED MATTERS APPLICATION	NO	DESIGNED BY	DATE
RESERVED MATTERS APPLICATION	A05	MH	22.03.13
DRAFT FOR PROJECT TEAM COMMENT	A04	MH	20.03.13
DRAFT FOR PROJECT TEAM COMMENT	A03	MR	14.03.13
DRAFT FOR COMMENT	A02	MR	01.02.13
DRAFT FOR COMMENT	A01	MR	18.01.13
DRAFT FOR COMMENT	-	MR	17.12.12

PURPOSE OF ISSUE

Rev.	Authorised for issue	Date

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CLIENT: VSM ESTATES LTD

PROJECT: UXBRIDGE

DRAWING TITLE: SPINE ROAD SWEEP PATH ANALYSIS SHEET 1 OF 10 (LEFT OUT)

Scale	Drawn	Checked	10-00 CHECK
1:500	CEO/RJM	CN	CB
	DATE	DATE	DATE
	17/12/12	17/12/12	17/12/12

DRAWING NO	SHEET	PLOT DATE	REV
5105977/UXB/SR/0111	A1	22/03/13	A05

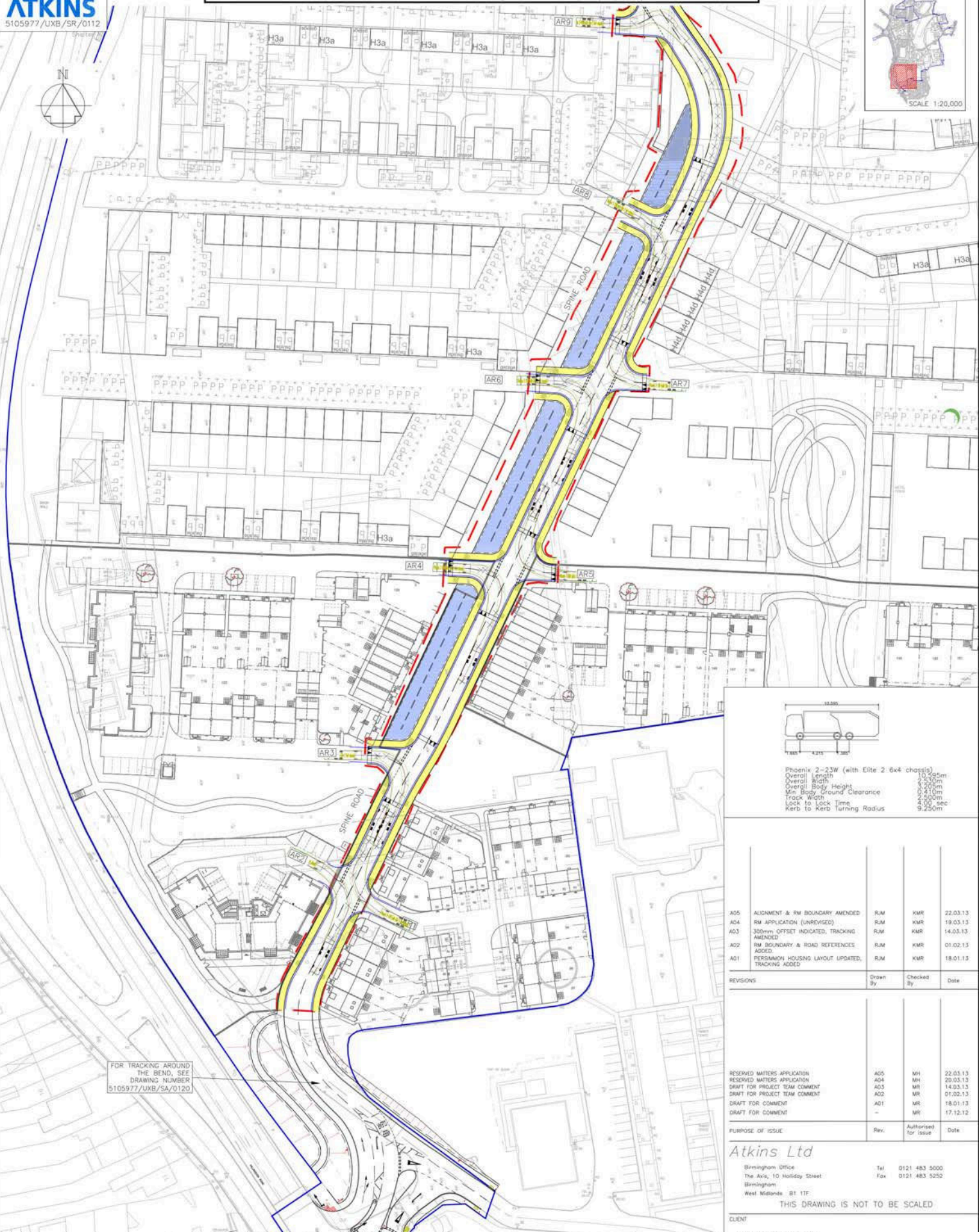
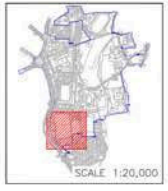
FOR TRACKING AROUND THE BEND, SEE DRAWING NUMBER 5105977/UXB/SA/0120

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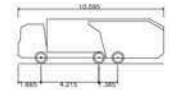
- NOTES
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_20T.REVE "RAF UXBRIDGE, MIDDLESEX UB10 0R2 - TOPOGRAPHICAL SURVEY 20" BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBERS:
    - 3300-10-101 Rev 0 BY SHEPPARD ROBSON (MASTERPLAN)
    - PERS120807-SLO1 Rev A (St Andrews Park, Uxbridge - Phase 1C - Site Layout) BY TETLOW KING.
    - PERS120903-SLO3 Rev E (St Andrews Park, Uxbridge - Phase 1D - Site Layout) BY TETLOW KING.

KEY

	OUTLINE PLANNING APPLICATION BOUNDARY
	RESERVED MATTERS APPLICATION BOUNDARY
	PROPOSED NEW KERBING
	PROPOSED NEW FOOTWAY
	PROPOSED NEW SWALE
	300mm OFFSET FROM KERB



FOR TRACKING AROUND THE BEND, SEE DRAWING NUMBER 5105977/UXB/SA/0120



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10.50m  
 Overall Width 2.350m  
 Overall Body Height 2.700m  
 Min Body Ground Clearance 2.100m  
 Track Width 2.500m  
 Lock to Lock Time 4.00 sec  
 Kerb to Kerb turning Radius 9.250m

NO	DESCRIPTION	BY	DATE	
A05	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A04	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A03	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A02	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13
A01	PERSIMMON HOUSING LAYOUT UPDATED, TRACKING ADDED	RJM	KMR	18.01.13

REVISIONS	Drawn By	Checked By	Date

NO	DESCRIPTION	BY	DATE
A05	RESERVED MATTERS APPLICATION	MR	22.03.13
A04	DRAFT FOR PROJECT TEAM COMMENT	MR	14.03.13
A03	DRAFT FOR PROJECT TEAM COMMENT	MR	01.02.13
A02	DRAFT FOR COMMENT	MR	18.01.13
A01	DRAFT FOR COMMENT	MR	17.12.12

PURPOSE OF ISSUE: Rev. Authorized for Issue

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CLIENT: VSM ESTATES LTD

PROJECT: UXBRIDGE

DRAWING TITLE: SPINE ROAD SWEEP PATH ANALYSIS SHEET 2 OF 10 (RIGHT OUT)

Scale	Drawn	Checked	CO-ORD CHECK
1:500	CEO/RJM	CN	CB
	DATE	DATE	DATE
	17/12/12	17/12/12	17/12/12

SHEET	PLOT DATE
A1	22/03/13

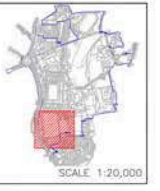
DRAWING NO: 5105977/UXB/SR/0112 REV: A05

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- NOTES**
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_20T\_REV 'RAF' UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20" BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBERS:
    - 3300-10-101 Rev 0 BY SHEPPARD ROBSON (MASTERPLAN)
    - PERS120807-SL01 Rev A (St Andrews Park, Uxbridge - Phase 1C - Site Layout) BY TETLOW KING.
    - PERS120903-SL03 Rev E (St Andrews Park, Uxbridge - Phase 10 - Site Layout) BY TETLOW KING.

**KEY**

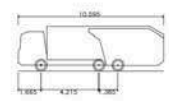
- OUTLINE PLANNING APPLICATION BOUNDARY
- RESERVED MATTERS APPLICATION BOUNDARY
- PROPOSED NEW KERBING
- PROPOSED NEW FOOTWAY
- PROPOSED NEW SWALE
- 300mm OFFSET FROM KERB



SCALE 1:20,000



FOR TRACKING AROUND THE BEND, SEE DRAWING NUMBER 5105977/UXB/SA/0120



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10,285mm  
 Overall Width 1,885mm  
 Overall Body Height 2,530mm  
 Overall Body Height 2,410mm  
 Track Width 2,500mm  
 Lock to Lock Time 4.00 sec  
 Kerb to Kerb Turning Radius 9,250mm

NO	DESCRIPTION	BY	CHECKED	DATE
A05	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A04	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A03	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A02	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13
A01	PERSIMMON HOUSING LAYOUT UPDATED, TRACKING ADDED	RJM	KMR	18.01.13

REVISIONS	Drawn By	Checked By	Date

RESERVED MATTERS APPLICATION	NO	BY	DATE
RESERVED MATTERS APPLICATION	A05	MH	22.03.13
DRAFT FOR PROJECT TEAM COMMENT	A04	MR	14.03.13
DRAFT FOR PROJECT TEAM COMMENT	A03	MR	14.03.13
DRAFT FOR COMMENT	A02	MR	01.02.13
DRAFT FOR COMMENT	A01	MR	18.01.13
DRAFT FOR COMMENT	-	MR	17.12.12

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CLIENT: VSM ESTATES LTD

PROJECT: UXBRIDGE

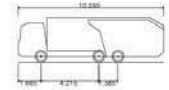
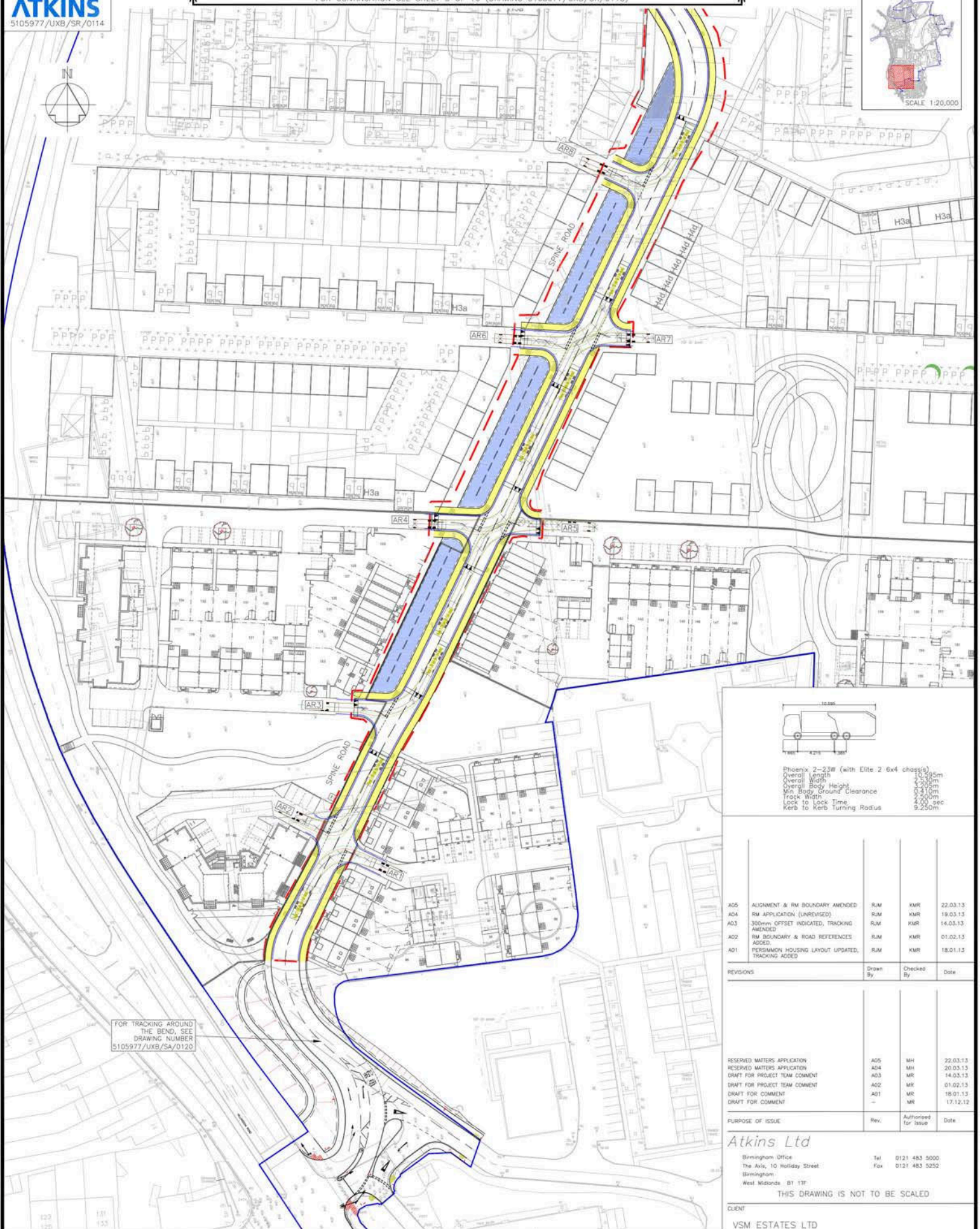
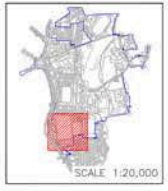
DRAWING TITLE: SPINE ROAD SWEEP PATH ANALYSIS SHEET 3 OF 10 (LEFT IN)

Scale	Drawn	Checked	10-OR CHECK
1:500	CEO/RJM	CA	CB
	DATE	DATE	DATE
	17/12/12	17/12/12	17/12/12

DRAWING NO	SHEET	PLOT DATE	REV
5105977/UXB/SR/0113	A1	22/03/13	A05

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- NOTES**
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_20T\_REV\_E 'RAF' UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20" BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBERS:
    - 3300-10-101 Rev 0 BY SHEPPARD ROBSON (MASTERPLAN)
    - PERS120807-SL01 Rev A (St Andrews Park, Uxbridge - Phase 1C - Site Layout) BY TETLOW KING.
    - PERS120903-SL03 Rev E (St Andrews Park, Uxbridge - Phase 1D - Site Layout) BY TETLOW KING.



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10.500m  
 Overall Width 2.500m  
 Overall Body Height 3.400m  
 Min. Body Ground Clearance 2.000m  
 Track Width 2.000m  
 Lock to Lock Time 2.00 sec  
 Kerb to Kerb Turning Radius 9.250m

NO	DESCRIPTION	RUM	KMR	DATE
A05	ALIGNMENT & RM BOUNDARY AMENDED	RUM	KMR	22.03.13
A04	RM APPLICATION (UNREVISED)	RUM	KMR	19.03.13
A03	300mm OFFSET INDICATED, TRACKING AMENDED	RUM	KMR	14.03.13
A02	RM BOUNDARY & ROAD REFERENCES ADDED	RUM	KMR	01.02.13
A01	PERSIMMON HOUSING LAYOUT UPDATED, TRACKING ADDED	RUM	KMR	18.01.13

REVISIONS	Drawn By	Checked By	Date

RESERVED MATTERS APPLICATION	NO	DATE
RESERVED MATTERS APPLICATION	A05	MH 22.03.13
DRAFT FOR PROJECT TEAM COMMENT	A04	MH 20.03.13
DRAFT FOR PROJECT TEAM COMMENT	A03	MR 14.03.13
DRAFT FOR PROJECT TEAM COMMENT	A02	MR 01.02.13
DRAFT FOR COMMENT	A01	MR 18.01.13
DRAFT FOR COMMENT	-	MR 17.12.12

PURPOSE OF ISSUE	Rev.	Authorized for Issue	Date

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CLIENT  
**VSM ESTATES LTD**

PROJECT  
**UXBRIDGE**

DRAWING TITLE  
**SPINE ROAD SWEEP PATH ANALYSIS SHEET 4 OF 10 (RIGHT IN)**

Scale	Drawn	Checked	10-OR CHECK
1:500	CEO/RJM	CN	CB
	DATE	DATE	DATE
	17.12.12	17.12.12	17.12.12

SHEET	PLOT DATE
A1	22/03/13

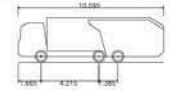
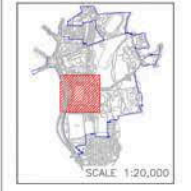
DRAWING NO: 5105977/UXB/SR/0114 REV: A05

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- NOTES**
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_20T\_REV 'RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20' BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBERS:
    - 3300-10-101 Rev 0 BY SHEPPARD ROBSON (MASTERPLAN)
    - PERS120807-SL01 Rev A (St Andrews Park, Uxbridge - Phase 1C - Site Layout) BY TETLOW KING.
    - PERS120903-SL03 Rev E (St Andrews Park, Uxbridge - Phase 1D - Site Layout) BY TETLOW KING.

- KEY**
- OUTLINE PLANNING APPLICATION BOUNDARY
  - RESERVED MATTERS APPLICATION BOUNDARY
  - PROPOSED NEW KERBING
  - PROPOSED NEW FOOTWAY
  - PROPOSED NEW SWALE
  - 300mm OFFSET FROM KERB





Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 12.500m  
 Overall Width 2.500m  
 Overall Body Height 3.415m  
 Min. Body Ground Clearance 0.415m  
 Track Width 2.000m  
 Lock to Lock Time 2.000 sec  
 Kerb to Kerb Turning Radius 9.250m

NO	DESCRIPTION	BY	CHKD BY	DATE
A06	CAR PARKING BAYS ADDED, RM BOUNDARY REVISED	RJM	KMR	13.05.13
A05	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26.04.13
A04	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A03	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A02	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A01	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13

REVISIONS	Drawn By	Checked By	Date

NO	DESCRIPTION	BY	CHKD BY	DATE
A06	REVISED RESERVED MATTERS APPLICATION	MH	MH	13.05.13
A05	REVISED RESERVED MATTERS APPLICATION	MH	MH	26.04.13
A04	REVISED RESERVED MATTERS APPLICATION	MH	MH	22.03.13
A03	REVISED RESERVED MATTERS APPLICATION	MH	MH	20.03.13
A02	DRAFT FOR PROJECT TEAM COMMENT	MR	MR	14.03.13
A01	DRAFT FOR PROJECT TEAM COMMENT	MR	MR	01.02.13
	DRAFT FOR COMMENT	MR	MR	18.01.13

PURPOSE OF ISSUE: Rev. Authorized for Issue Date

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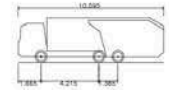
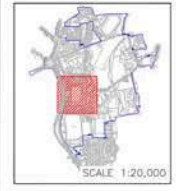
PROJECT: UXBRIDGE

DRAWING TITLE			
SPINE ROAD SWEEP PATH ANALYSIS SHEET 5 OF 10 (LEFT OUT)			
Scale	Drawn	Checked	10-00 CHECK
1:500	CEO/RJM	CN	KMR
	DATE	DATE	DATE
	17/12/12	18/12/12	18/12/12
		SHEET	PLOT DATE
		A1	13/05/13
DRAWING NO	5105977/UXB/SR/0115		REV
			A06

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- NOTES:
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_2DT\_REVE 'RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 2D' BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - MASTERPLAN TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 BY SHEPPARD ROBSON.

KEY	
	RESERVED MATTERS APPLICATION BOUNDARY
	PROPOSED NEW KERBING
	PROPOSED NEW FOOTWAY
	PROPOSED NEW SWALE
	300mm OFFSET FROM KERB



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10.96m  
 Overall Width 2.70m  
 Overall Body Height 2.410m  
 Wheel Body Ground Clearance 2.410m  
 Track Width 2.000m  
 Lock to Lock Time 2.000 sec  
 Kerb to Kerb Turning Radius 9.250m

A06	CAR PARKING BAYS ADDED, RM BOUNDARY REVISED	RJM	KMR	13.05.13
A05	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26.04.13
A04	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A03	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A02	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A01	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13

REVISIONS	Drawn By	Checked By	Date
REVISED RESERVED MATTERS APPLICATION	A06	MH	13.05.13
REVISED RESERVED MATTERS APPLICATION	A05	MH	26.04.13
REVISED MATTERS APPLICATION	A04	MH	22.03.13
REVISED MATTERS APPLICATION	A03	MH	20.03.13
DRAFT FOR PROJECT TEAM COMMENT	A02	MR	14.03.13
DRAFT FOR PROJECT TEAM COMMENT	A01	MR	01.02.13
DRAFT FOR COMMENT	-	MR	19.01.13

PURPOSE OF ISSUE	Rev.	Authorized for Issue	Date
REVISED RESERVED MATTERS APPLICATION	A06	MH	13.05.13
REVISED RESERVED MATTERS APPLICATION	A05	MH	26.04.13
REVISED MATTERS APPLICATION	A04	MH	22.03.13
REVISED MATTERS APPLICATION	A03	MH	20.03.13
DRAFT FOR PROJECT TEAM COMMENT	A02	MR	14.03.13
DRAFT FOR PROJECT TEAM COMMENT	A01	MR	01.02.13
DRAFT FOR COMMENT	-	MR	19.01.13

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FOR CONTINUATION SEE SHEET 2 OF 10 (DRAWING 5105977/UXB/SR/0112)

NOTES  
 1. ALL DIMENSIONS ARE IN METRES.  
 2. TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_2DT\_REV 'RAF UXBRIDGE, MIDDLESEX UB10 0R2 - TOPOGRAPHICAL SURVEY 2D' BY MET SURVEYS LTD.  
 3. ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.  
 4. FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.  
 5. MASTERPLAN TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 BY SHEPPARD ROBSON.

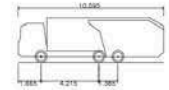
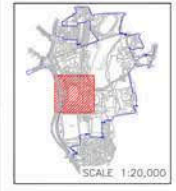
**KEY**  
 - - - RESERVED MATTERS APPLICATION BOUNDARY  
 - - - PROPOSED NEW KERBING  
 - - - PROPOSED NEW FOOTWAY  
 - - - PROPOSED NEW SWALE  
 - - - 300mm OFFSET FROM KERB

CLIENT: VSM ESTATES LTD

PROJECT: UXBRIDGE

DRAWING TITLE: SPINE ROAD SWEEP PATH ANALYSIS SHEET 6 OF 10 (RIGHT OUT)

Scale: 1:500	DRAWN: CEO/RJM	CHECKED: CN	50-OR CHECK: KMR
DATE: 18/12/12	DATE: 18/12/12	DATE: 18/12/12	DATE: 18/12/12
DRAWING NO: 5105977/UXB/SR/0116		SHEET: A1	PLOT DATE: 13/05/13
		REV: A06	



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10.96m  
 Overall Width 2.30m  
 Overall Body Height 2.70m  
 Max. Body Ground Clearance 0.410m  
 Track Width 2.00m  
 Lock to Lock Time 2.00 sec  
 Kerb to Kerb Turning Radius 9.250m

A06	CAR PARKING BAYS ADDED, RM BOUNDARY REVISED	RJM	KMR	13.05.13
A05	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26.04.13
A04	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A03	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A02	350mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A01	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13

REVISIONS	Drawn By	Checked By	Date
REVISED RESERVED MATTERS APPLICATION			
REVISED RESERVED MATTERS APPLICATION			
REVISED MATTERS APPLICATION			
RESERVED MATTERS APPLICATION			
DRAFT FOR PROJECT TEAM COMMENT			
DRAFT FOR PROJECT TEAM COMMENT			
DRAFT FOR COMMENT			
PURPOSE OF ISSUE	Rev.	Authorized for Issue	Date

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FOR CONTINUATION SEE SHEET 3 OF 10 (DRAWING 5105977/UXB/SR/0113)

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- NOTES**
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_2DT\_REV "RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20" BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - MASTERPLAN TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 BY SHEPPARD ROBSON.

**KEY**

- RESERVED MATTERS APPLICATION BOUNDARY
- PROPOSED NEW KERBING
- PROPOSED NEW FOOTWAY
- PROPOSED NEW SWALE
- 300mm OFFSET FROM KERB

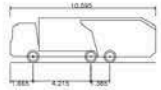
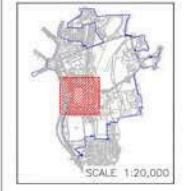
**CLIENT**  
VSM ESTATES LTD

**PROJECT**  
UXBRIDGE

**DRAWING TITLE**  
SPINE ROAD  
SWEEP PATH ANALYSIS  
SHEET 7 OF 10 (LEFT IN)

Scale	1:500	Drawn	CEO/RJM	Checked	CN	50-000 CHECK	KMR
		Date	18/12/12	Date	18/12/12	Date	18/12/12
						SHEET	A1
						PLOT DATE	13/05/13
						REV	A06

DRAWING NO: 5105977/UXB/SR/0117



Phoenix 2-23W (with Elite 2 6x4 chassis)  
 Overall Length 10.95m  
 Overall Width 2.50m  
 Overall Body Height 2.410m  
 Max. Body Ground Clearance 2.000m  
 Track Width 2.000m  
 Lock to Lock Time 14.03.13  
 Kerb to Kerb Turning Radius 9.250m

A06	CAR PARKING BAYS ADDED, RM BOUNDARY REVISED	RJM	KMR	13.05.13
A05	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26.04.13
A04	ALIGNMENT & RM BOUNDARY AMENDED	RJM	KMR	22.03.13
A03	RM APPLICATION (UNREVISED)	RJM	KMR	19.03.13
A02	300mm OFFSET INDICATED, TRACKING AMENDED	RJM	KMR	14.03.13
A01	RM BOUNDARY & ROAD REFERENCES ADDED	RJM	KMR	01.02.13

REVISIONS	Drawn By	Checked By	Date

REVISED RESERVED MATTERS APPLICATION	A06	MH	13.05.13
REVISED RESERVED MATTERS APPLICATION	A05	MH	26.04.13
REVISED MATTERS APPLICATION	A04	MH	22.03.13
REVISED MATTERS APPLICATION	A03	MH	20.03.13
DRAFT FOR PROJECT TEAM COMMENT	A02	MR	14.03.13
DRAFT FOR PROJECT TEAM COMMENT	A01	MR	01.02.13
DRAFT FOR COMMENT	-	MH	18.01.13

PURPOSE OF ISSUE

**Atkins Ltd**  
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 The Axis, 10 Holiday Street  
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 West Midlands B1 1TF

Tel 0121 483 5000  
 Fax 0121 483 5252

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CLIENT  
**VSM ESTATES LTD**

PROJECT  
**UXBRIDGE**

DRAWING TITLE  
**SPINE ROAD SWEEP PATH ANALYSIS SHEET 8 OF 10 (RIGHT IN)**

Scale	1:500	Drawn	CEO/RJM	Checked	CN	3D-DRG CHECK	
Date	18/12/12	Date	18/12/12	Date	18/12/12	Plot Date	13/05/13
Sheet	A1	Rev		Rev		Rev	

DRAWING NO: 5105977/UXB/SR/0118  
 REV: A06

FOR CONTINUATION SEE SHEET 4 OF 10 (DRAWING 5105977/UXB/SR/0114)

- NOTES
- ALL DIMENSIONS ARE IN METRES.
  - TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER 10179-147-HAL125\_2DT\_REV "RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 2D" BY MET SURVEYS LTD.
  - ALL TRACKS HAVE BEEN TRACKED USING THE PHOENIX 2-23W (WITH ELITE 2 6x4 CHASSIS) UNLESS OTHERWISE SHOWN.
  - FOR THE SWEEP PATH ANALYSIS FOR THE SOUTHERN ACCESS JUNCTION, SEE DRAWING NUMBERS 5105977/UXB/SA/0113 AND 5105977/UXB/SA/0120.
  - MASTERPLAN TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 BY SHEPPARD ROBSON.

KEY

- RESERVED MATTERS APPLICATION BOUNDARY
- PROPOSED NEW KERBING
- PROPOSED NEW FOOTWAY
- PROPOSED NEW SWALE
- 300mm OFFSET FROM KERB

**LEGEND**



Reserved matters boundary

Existing tree and RPA - refer to dwg ref 2152-SP-TS-01 and 2152-SP-TS-02 for tree protection  
Trees removed to facilitate construction

Marshalls Tegula concrete sets - random gauge, colour: Traditional

Marshalls Tegula concrete sets - random gauge with single soldier course of 120x160x60mm block pavers to edge, colour: Traditional  
Shared surface paving - Marshalls Tegula concrete sets, random gauge, colour: Harvest

Contrasting band - Marshall's Tegula concrete sets, colour: Pennant Grey

Marshall's Conservation Kerb - 145 x 255 in Silver Grey

Blister tactile paving

Knee rail

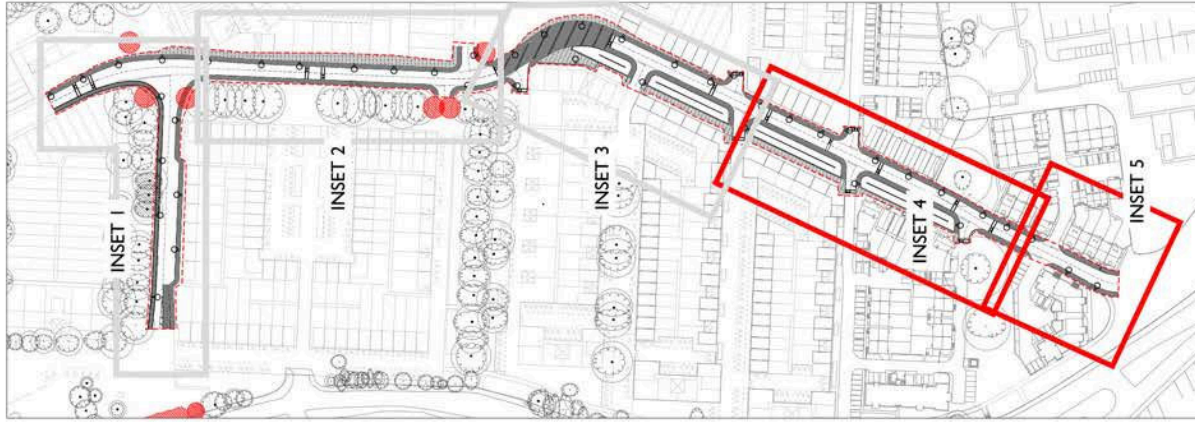
Proposed street lighting - indicative location refer to Atkins dwg ref

Grassed swale

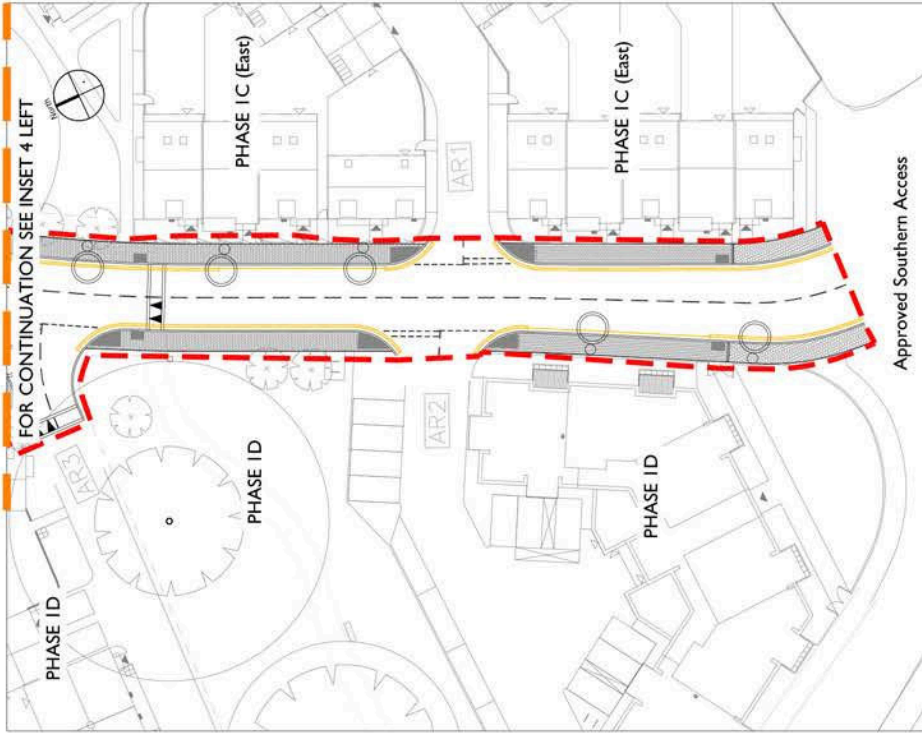
Proposed tree - refer dwg ref 2152-SP-PP-01

Proposed planting - refer dwg ref 2152-SP-PP-01

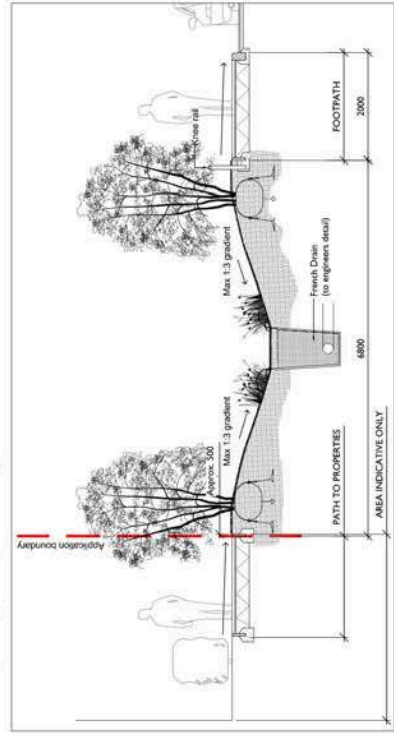
Approximate area of earthworks to grade to existing levels (refer Atkins plans for details)



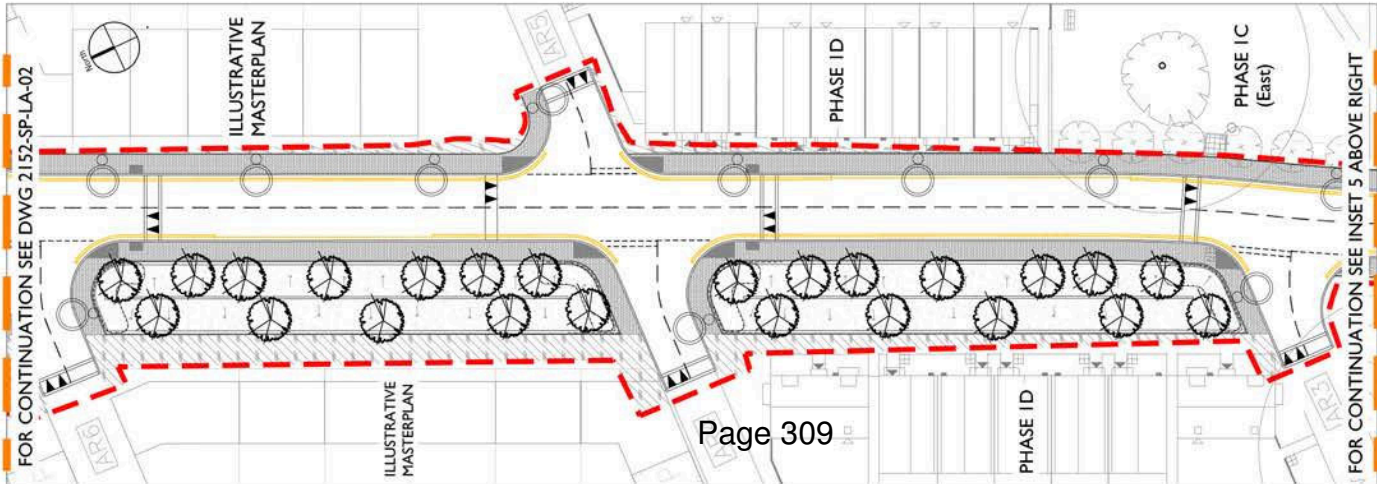
**Key Plan**  
Scale 1:1250 @ A1



Inset 5  
0 5 10 20m



Typical section through swale  
Scale 1:50 @ A1



Inset 4  
0 5 10 20m

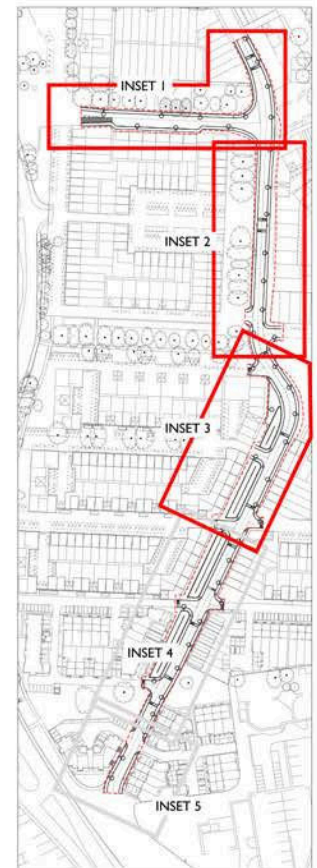
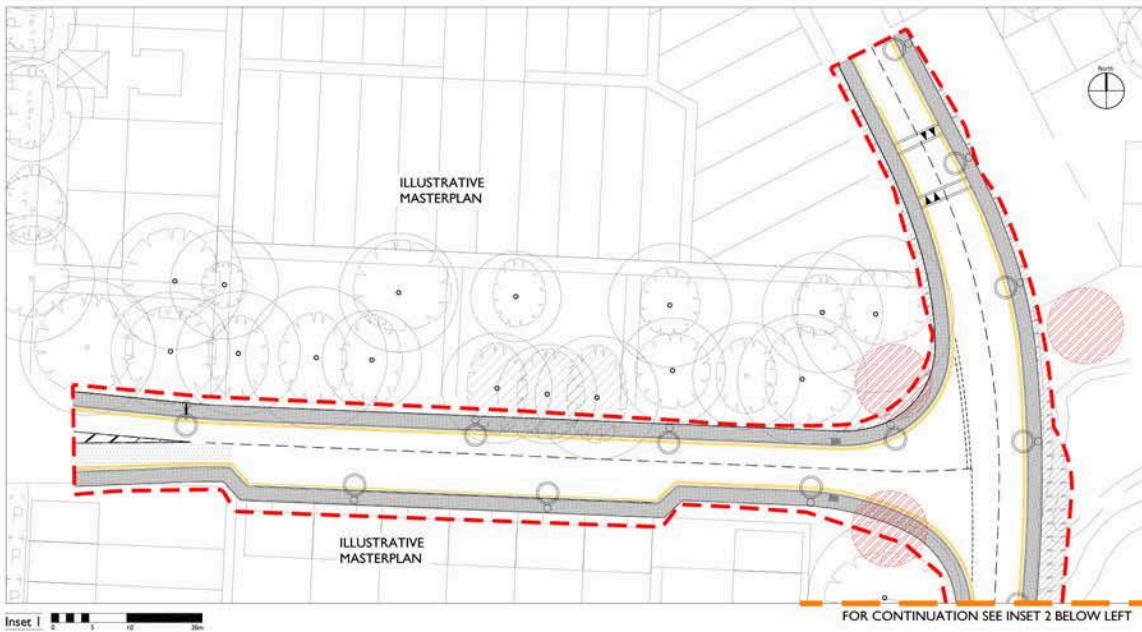
Ref	Description	Date	Drawn	Checked
H	Condition: indicate areas of 1:500/1:1000/1:2000 to provide ABC and total	20/09/13	MB	WB
G	Approved: indicate areas of 1:500/1:1000/1:2000/1:5000	20/09/13	MB	WB

**PLANNING**

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Landscape architects • Urban Design • Environmental planning  
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T 020 8548 3434 F 020 8547 1075  
www.allenpyke.co.uk  
MEMBER OF THE ALLIANCE  
KNOWLEDGE UPON THAMES • CAMBRIDGE

Client: VSP (Luton) Ltd  
Scale: 1:250 @ A1  
Project: Kingslip Park  
(Formerly RAF Lutonbridge)  
Drawing No: 051212  
Site: Sains Road  
Service: Treatments

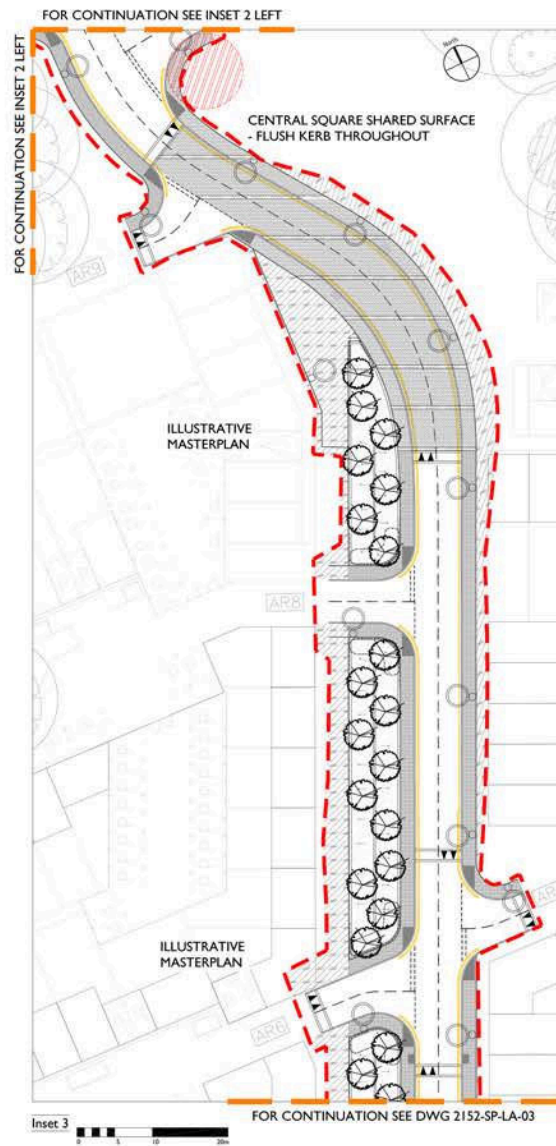
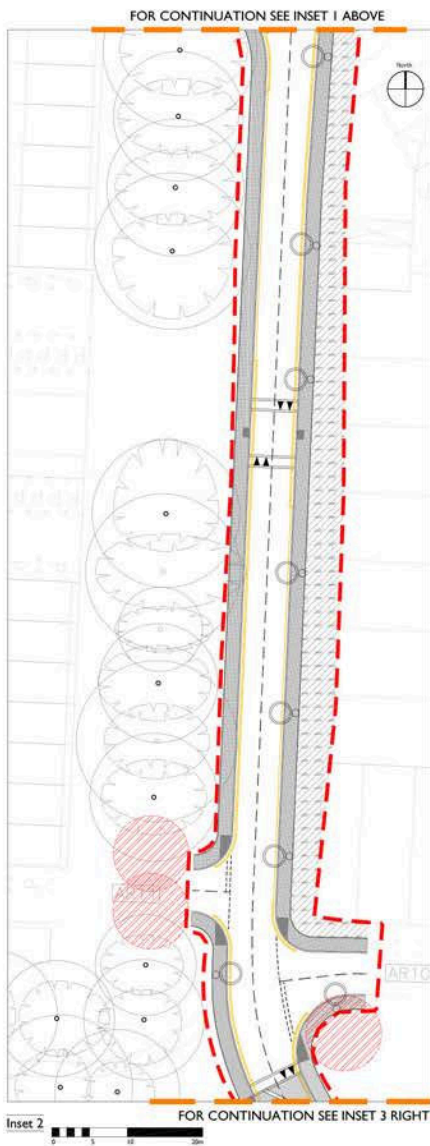
Drawn: MB  
Checked: WB  
Project Number: 2152-SP-LA-03  
Revision: H



Key Plan  
Scale 1:1250

LEGEND

- Reserved matters boundary
- Existing tree and RPA - refer to dwg ref 2152-SP-TS-01 and 2152-SP-TS-02 for tree protection
- Trees removed to facilitate construction
- Marshall's Tegula concrete sets - random gauge, colour: Traditional
- Marshall's Conservation Kerb - 145 x 255 in Silver Grey
- Blister tactile paving
- Proposed street lighting - indicative location (refer Atkins plans for details)
- Knee rail
- Approximate area of earthworks to grade to existing levels (refer Atkins plans for details)



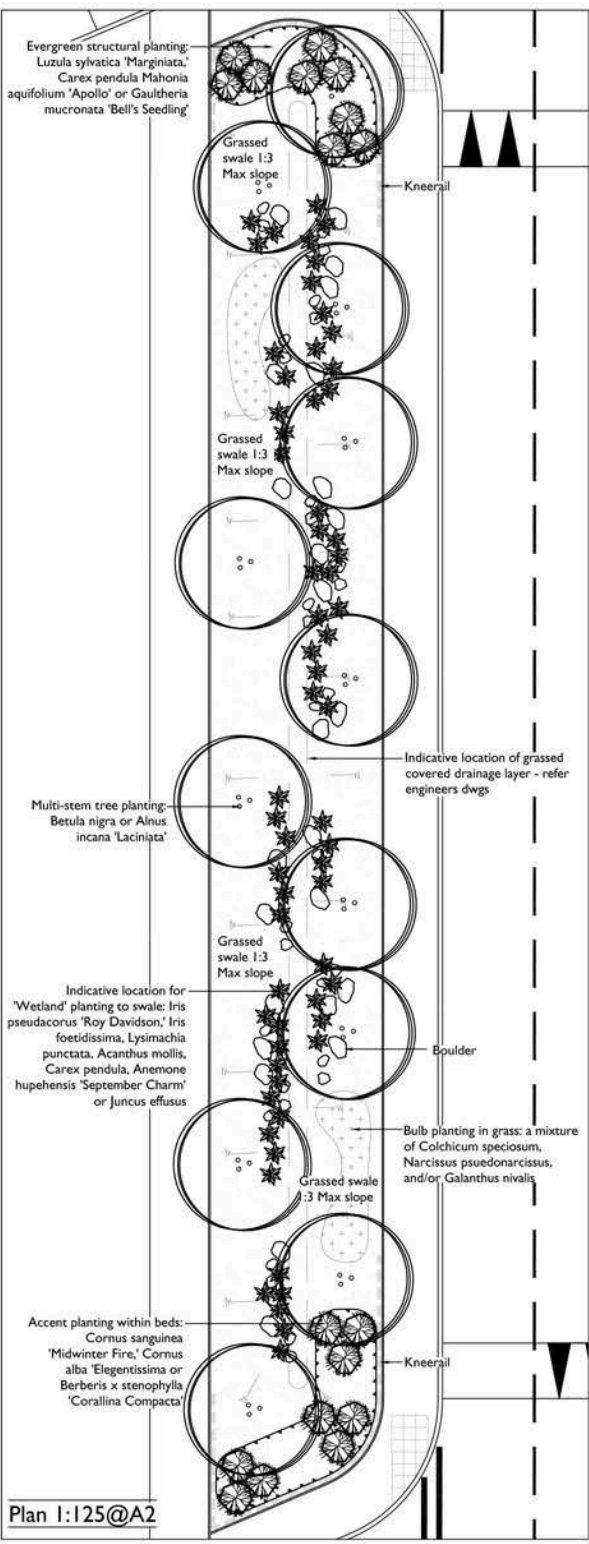
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3	Issue for approval	05/12/12	AP	AP
4	Issue for approval	05/12/12	AP	AP
5	Issue for approval	05/12/12	AP	AP
6	Issue for approval	05/12/12	AP	AP
7	Issue for approval	05/12/12	AP	AP
8	Issue for approval	05/12/12	AP	AP
9	Issue for approval	05/12/12	AP	AP
10	Issue for approval	05/12/12	AP	AP

PLANNING  
Allen Pyke Associates

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Surrey GU24 0ET

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www.allenpyke.co.uk  
KINGSTON UPON THAMES • CAMBRIDGE

Client: VSP (UK) (BRIDGE) LTD Date: 1/20/2014  
Project: In Road's Park (Formerly RAF Underhill) Ref: CA 88/14  
Drawing: Surface Treatments Date: 05/12/12  
Drawing: G1



Galanthus nivalis



Cornus sanguinea 'Midwinter Fire'



Lysimachia punctata



Luzula sylvatica 'Marginata'



Mahonia aquifolium 'Apollo'



Iris pseudacorus 'Roy Davidson'



Betula nigra Multi-Stem



Gaultheria mucronata 'Bell's Seedling'



Anemone hupehensis  
'September Charm'



Alnus incana 'Laciniata'

**Notes**

Planting to be replicated within all proposed swales, fully detailed planting numbers and locations to be supplied at tender stage

**PLANT SCHEDULE**

**Trees**

Name	Form	Height (cm)	Root Type	Habit	Min. no. of Breaks
Alnus glutinosa	Multi stem	250-300	RB	Bushy	3 stems min
Alnus incana 'Laciniata'	Multi stem	250-300	RB	Bushy	5
Betula nigra	Multi stem	250-300	RB	Bushy	3 stems min
Betula utilis jacquemontii	Multi stem	250-300	RB	Bushy	3 stems min

**Shrubs**

Name	Height (cm)	Container Size	Habit	Min. no. of Breaks	Density
Berberis x stenophylla 'Corallina Compacta'	40-60	3L	Bushy	3	4
Cornus alba 'Elegantissima'	40-60	3L	Branched	4	4
Cornus sanguinea 'Midwinter Fire'	40-60	3L	Branched	3	4

**Herbaceous**

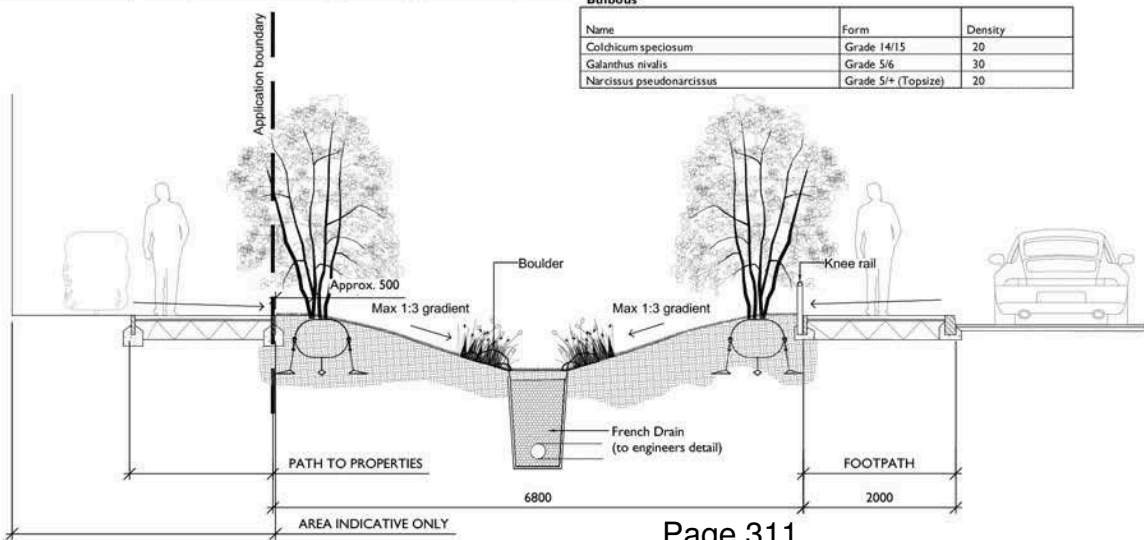
Name	Container Size	Density
Acanthus mollis	2L	3
Anemone hupehensis 'September Charm'	2L	4
Iris foetidissima	2L	4
Iris pseudacorus 'Roy Davidson'	2L	3

**Grasses**

Name	Container Size	Density
Carex pendula	2L	5
Juncus effusus	2L	5
Luzula sylvatica 'Marginata'	2L	7

**Bulbous**

Name	Form	Density
Colchicum speciosum	Grade 14/15	20
Galanthus nivalis	Grade 5/6	30
Narcissus pseudonarcissus	Grade S/+ (Topsiz)	20



Rev	Description	Date	Drawn	Checked

Drawing Status  
**PLANNING**

**Allen Pyke Associates**  
Landscape architecture, Urban design, Environmental planning  
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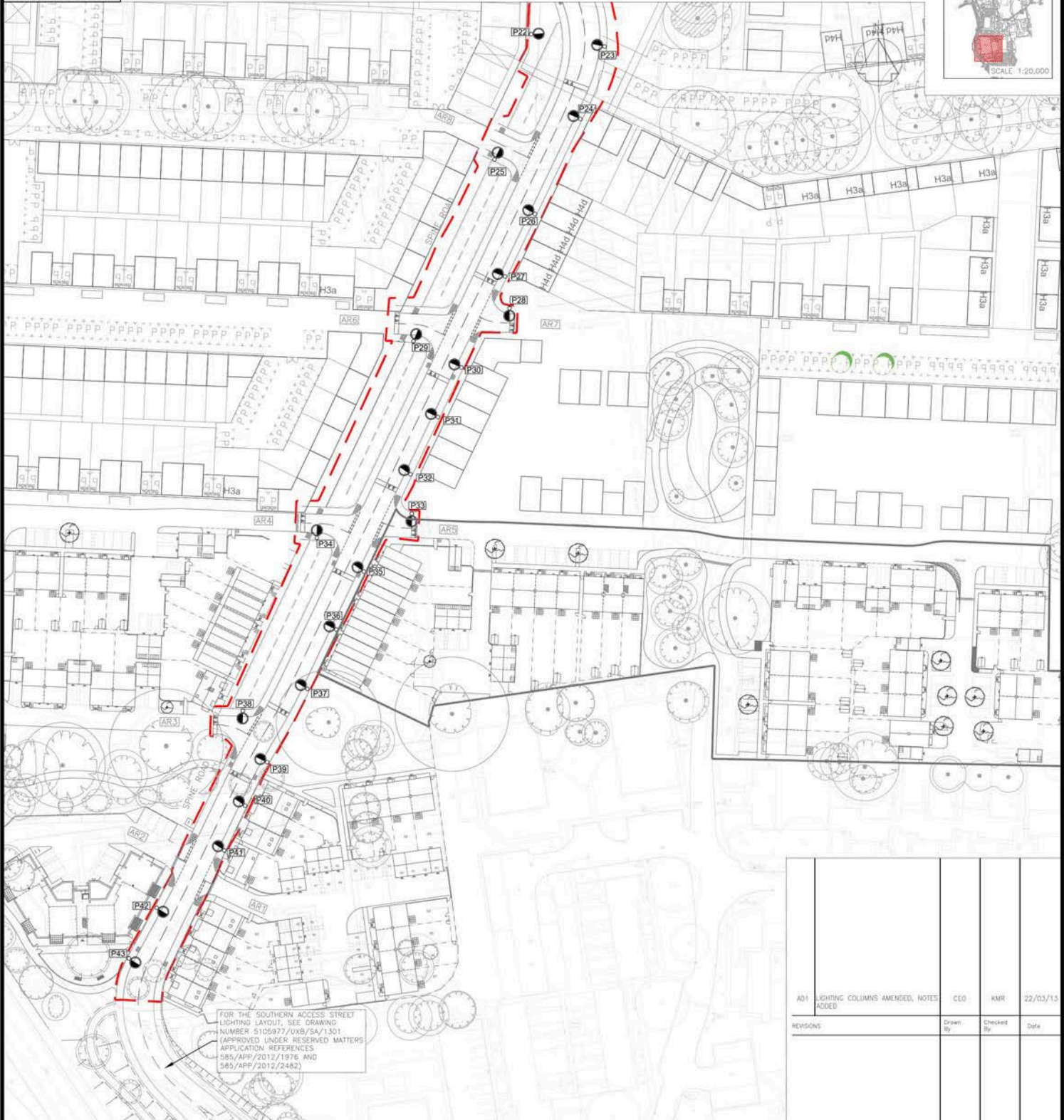
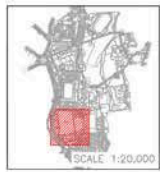
A registered provider of the Landscape Institute

Client: VSM (Uxbridge) Ltd  
Scale: AS SHOWN@A2

Project: St Andrew's Park (Formerly RAF Uxbridge)  
By/Chk: BB/YR

Drawing Title: Spine Road Swale Planting Plan  
Date: 21/03/13

Drawing Number: 2152-SP-PP-01  
Revision:



FOR THE SOUTHERN ACCESS STREET LIGHTING LAYOUT, SEE DRAWING NUMBER 5105977/UXB/SA/1301 (APPROVED UNDER RESERVED MATTERS APPLICATION REFERENCES 585/APP/2012/1976 AND 585/APP/2012/2482)

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- KEY**
- RESERVED MATTERS APPLICATION BOUNDARY
  - PROPOSED GALVANISED TUBULAR STEEL COLUMN OF 5m NOMINAL HEIGHT WITH POST-TOP MOUNTED ZERO DEGREE INCLINATION URBIS SAPHIRE 1 DISHED POLY CARBONATE BOWL LUMINAIRE OF TYPE SPH1\_LPP\_1770\_090\_25\_2210A INCORPORATING A SON-T 50W LAMP, 4400 LUMENS WITH PHILIPS DYNASIGN PROGRAMMABLE XTREME ELECTRONIC BALLAST TWO PART ROYCE THOMPSON 'ERAN' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN)
  - PROPOSED GALVANISED TUBULAR STEEL COLUMN OF 6m NOMINAL HEIGHT WITH POST-TOP MOUNTED ZERO DEGREE INCLINATION URBIS SAPHIRE 1 DISHED POLY CARBONATE BOWL LUMINAIRE OF TYPE SPH1\_LPP\_1770\_090\_25\_2210A INCORPORATING A SON-T 70W LAMP, 6600 LUMENS WITH PHILIPS DYNASIGN PROGRAMMABLE XTREME ELECTRONIC BALLAST TWO PART ROYCE THOMPSON 'ERAN' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN)
  - PROPOSED GALVANISED COLUMN AND 1m BRACKET OF 10m NOMINAL HEIGHT WITH SIDE ENTRY MOUNTED URBIS ZX2 CURVE TEMPERED GLASS (LTO) LUMINAIRE OF TYPE ZX2\_CTC\_1312\_110\_24 WITH DOVE GREY CANOPY, THE LUMINAIRE TO HOUSE A PHILIPS 150W SON-T PIA PLUS AND PHILIPS DYNASIGN PROGRAMMABLE XTREME ELECTRONIC BALLAST TWO PART ROYCE THOMPSON 'ERAN' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN)

- NOTES**
1. LIGHTING COLUMN SYMBOLS ARE INDICATIVE AND NOT TO SCALE.
  2. COLUMN NUMBERS SHOWN ARE FOR DRAWING REFERENCE ONLY.
  3. ALL LIGHTING COLUMNS ARE TO BE INSTALLED IN THE BACK OF FOOTWAY.
  4. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF EXISTING STATUTORY SERVICES PRIOR TO CONSTRUCTION. PARTICULAR ATTENTION IS DRAWN TO THE 'NEW ROADS AND STREET WORKS ACT, 1991'
  5. ALL PROPOSED EQUIPMENT SHALL BE SUPPLIED VIA A DNO NEW CONNECTION.
  6. CONFLICT AREA LIGHTING HAS BEEN DESIGNED TO LIGHTING CLASS CIE2 AS DEFINED IN THE BS 5489-1:2003
  7. LIGHTING HAS BEEN DESIGNED IN CONSIDERATION OF THE FOLLOWING DOCUMENTS:
    - BS EN 13201-1:2004 ROAD LIGHTING - PART 1: SELECTION OF LIGHTING CLASSES
    - BS EN 13201-2:2004 ROAD LIGHTING - PART 2: LIGHTING OF ROADS AND PUBLIC AMENITY AREAS
    - BS 5489-1:2003+A2:2008 CODE OF PRACTICE FOR THE DESIGN OF ROAD LIGHTING - PART 1: LIGHTING OF ROADS AND PUBLIC AMENITY AREAS
    - NEW HOMES 2010, SECURED BY DESIGN
    - GN01:2011 GUIDANCE NOTES FOR THE REDUCTION OF OBTRUSIVE LIGHT, INSTITUTE OF LIGHTING PROFESSIONALS
  8. TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER HAL125\_201\_Rev.dwg 'RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20' BY MET SURVEYS LTD.
  9. PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 (MASTERPLAN) BY SHEPPARD ROBSON.

AD1	LIGHTING COLUMNS AMENDED, NOTES ADDED	CEO	KMR	22/03/13
REVISIONS		Drawn By	Checked By	Date

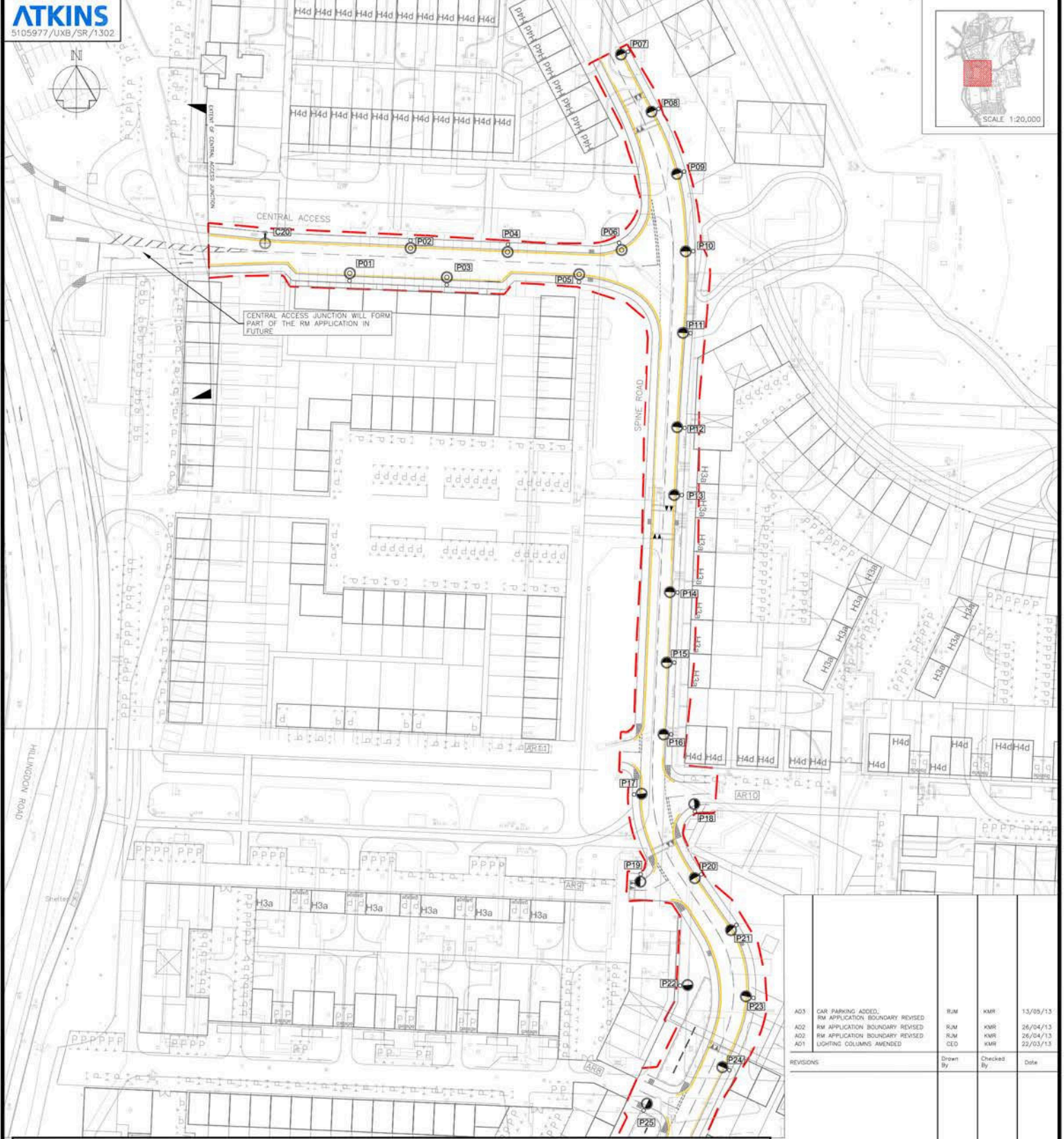
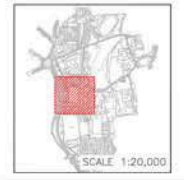
RESERVED MATTERS APPLICATION	AD1	MH	22/03/13
RESERVED MATTERS APPLICATION	-	MH	20/03/13
PURPOSE OF ISSUE	Rev.	Authorised For Issue	Date

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Tel: 0121 463 5000  
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CUITY			
VSM ESTATES LTD			
PROJECT			
UXBRIDGE			
DRAWING TITLE			
SPINE ROAD STREET LIGHTING LAYOUT SHEET 1 OF 2			
Scale	Drawn SR	Checked PSB	CD-DRG CHECK RB
1:500	DATE 13/03/13	DATE 13/03/13	DATE 13/03/13
DRAWING NO: 5105977/UXB/SR/1301		SHEET A1	PLT DATE 22/03/13
			REV A01





FOR CONTINUATION SEE SHEET 1 OF 2 (DRAWING 5105977/UXB/SR/1301)

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- KEY**
- RESERVED MATTERS APPLICATION BOUNDARY
  - PROPOSED GALVANISED TUBULAR STEEL COLUMN OF 5m NOMINAL HEIGHT WITH POST-TOP MOUNTED ZERO DEGREE INCLINATION URBIS SAPPHIRE 1 DISHED POLY CARBONATE BOWL LUMINAIRE OF TYPE SPH1\_LPP\_1770\_090\_-25\_2219A INCORPORATING A SON-T 50W LAMP, 4400 LUMENS WITH PHILIPS DYNAVISOR PROGRAMMABLE XTREME ELECTRONIC BALLAST, TWO PART ROYCE THOMPSON 'ER4N' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN)
  - PROPOSED GALVANISED TUBULAR STEEL COLUMN OF 6m NOMINAL HEIGHT WITH POST-TOP MOUNTED ZERO DEGREE INCLINATION URBIS SAPPHIRE 1 DISHED POLY CARBONATE BOWL LUMINAIRE OF TYPE SPH1\_LPP\_1770\_090\_-25\_2219A INCORPORATING A SON-T 70W LAMP, 6600 LUMENS WITH PHILIPS DYNAVISOR PROGRAMMABLE XTREME ELECTRONIC BALLAST, TWO PART ROYCE THOMPSON 'ER4N' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN)
  - PROPOSED GALVANISED COLUMN AND 1m BRACKET OF 10m NOMINAL HEIGHT WITH SIDE ENTRY MOUNTED URBIS ZX2 CURVE TEMPERED GLASS (CTG) LUMINAIRE OF TYPE ZX2\_CTG\_1312\_110\_-24 WITH DOVE GREY CANOPY, THE LUMINAIRE TO HOUSE A PHILIPS 150W SON-T PIA PLUS AND PHILIPS DYNAVISOR PROGRAMMABLE XTREME ELECTRONIC BALLAST, TWO PART ROYCE THOMPSON 'ER4N' PHOTO ELECTRIC CELL WITH THE CONTROL UNIT BEING SECURELY FIXED IN THE BASE OF THE COLUMN (NOT SUPPLIED WITH LANTERN).

- NOTES**
1. LIGHTING COLUMN SYMBOLS ARE INDICATIVE AND NOT TO SCALE.
  2. COLUMN NUMBERS SHOWN ARE FOR DRAWING REFERENCE ONLY.
  3. ALL LIGHTING COLUMNS ARE TO BE INSTALLED IN THE BACK OF FOOTWAY.
  4. THE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF EXISTING STATUTORY SERVICES PRIOR TO CONSTRUCTION, PARTICULAR ATTENTION IS DRAWN TO THE 'NEW ROADS AND STREET WORKS ACT, 1991'
  5. ALL PROPOSED EQUIPMENT SHALL BE SUPPLIED VIA A DND NEW CONNECTION.
  6. CONFLICT AREA LIGHTING HAS BEEN DESIGNED TO LIGHTING CLASS C2 AS DEFINED IN THE BS 5489-1:2003
  7. LIGHTING HAS BEEN DESIGNED IN CONSIDERATION OF THE FOLLOWING DOCUMENTS:
    - BS EN 13201-1:2004 ROAD LIGHTING - PART 1: SELECTION OF LIGHTING CLASSES
    - BS 5489-1:2003+A2:2005 CODE OF PRACTICE FOR THE DESIGN OF ROAD LIGHTING - PART 1: LIGHTING OF ROADS AND PUBLIC AMENITY AREAS.
    - NEW HOMES 2010, SECURED BY DESIGN.
    - GN01:2011 GUIDANCE NOTES FOR THE REDUCTION OF OBTRUSIVE LIGHT, INSTITUTE OF LIGHTING PROFESSIONALS.
  8. TOPOGRAPHICAL SURVEY TAKEN FROM DRAWING NUMBER H4L125\_20T\_Rev1.dwg 'RAF UXBRIDGE, MIDDLESEX UB10 0RZ - TOPOGRAPHICAL SURVEY 20' BY MET SURVEYS LTD.
  9. PROPOSED HOUSING LAYOUT TAKEN FROM DRAWING NUMBER 3300-10-101 Rev 0 (MASTERPLAN) BY SHEPPARD ROSSON.
  10. THE STREET LIGHTING DESIGN SHOWN IS INDICATIVE. THE REVISED SPECIFICATION OF THE LANTERNS TO BE CONFIRMED BY THE LONDON BOROUGH OF HILLINGDON.


A03	CAR PARKING ADDED. RM APPLICATION BOUNDARY REVISED	RJM	KMR	13/05/13
A02	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26/04/13
A02	RM APPLICATION BOUNDARY REVISED	RJM	KMR	26/04/13
A01	LIGHTING COLUMNS AMENDED	CEC	KMR	22/03/13
REVISIONS:		Drawn By	Checked By	Date
REVISED RESERVED MATTERS APPLICATION		A03	MH	13/05/13
REVISED RESERVED MATTERS APPLICATION		A02	MH	26/04/13
RESERVED MATTERS APPLICATION		A01	MH	22/03/13
RESERVED MATTERS APPLICATION		-	MH	20/03/13
PURPOSE OF ISSUE:		Rev.	Authorised for issue	Date

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CLIENT			
VSM ESTATES LTD			
PROJECT			
UXBRIDGE			
DRAWING TITLE			
SPINE ROAD STREET LIGHTING LAYOUT SHEET 2 OF 2			
Scale	1:500	CHECKED	CS-DRG CHECK
	SR	PSB	RB
	DATE	DATE	DATE
	13/03/13	13/03/13	13/03/13
0		SHEET	PLOT DATE
		A1	13/05/13
DRAWING NO		REV	
5105977/UXB/SR/1302		A03	



**Notes**

 Site boundary

For identification purposes only.

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Site Address

**Former RAF Uxbridge  
Hillingdon Road  
Uxbridge**

Planning Application Ref:

**585/APP/2013/759**

Planning Committee

**Major Applications**

Scale

**1:4,000**

Date

**May  
2013**

**LONDON BOROUGH  
OF HILLINGDON  
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW  
Telephone No.: Uxbridge 250111



**HILLINGDON**  
LONDON

## **Report of the Head of Planning, Sport and Green Spaces**

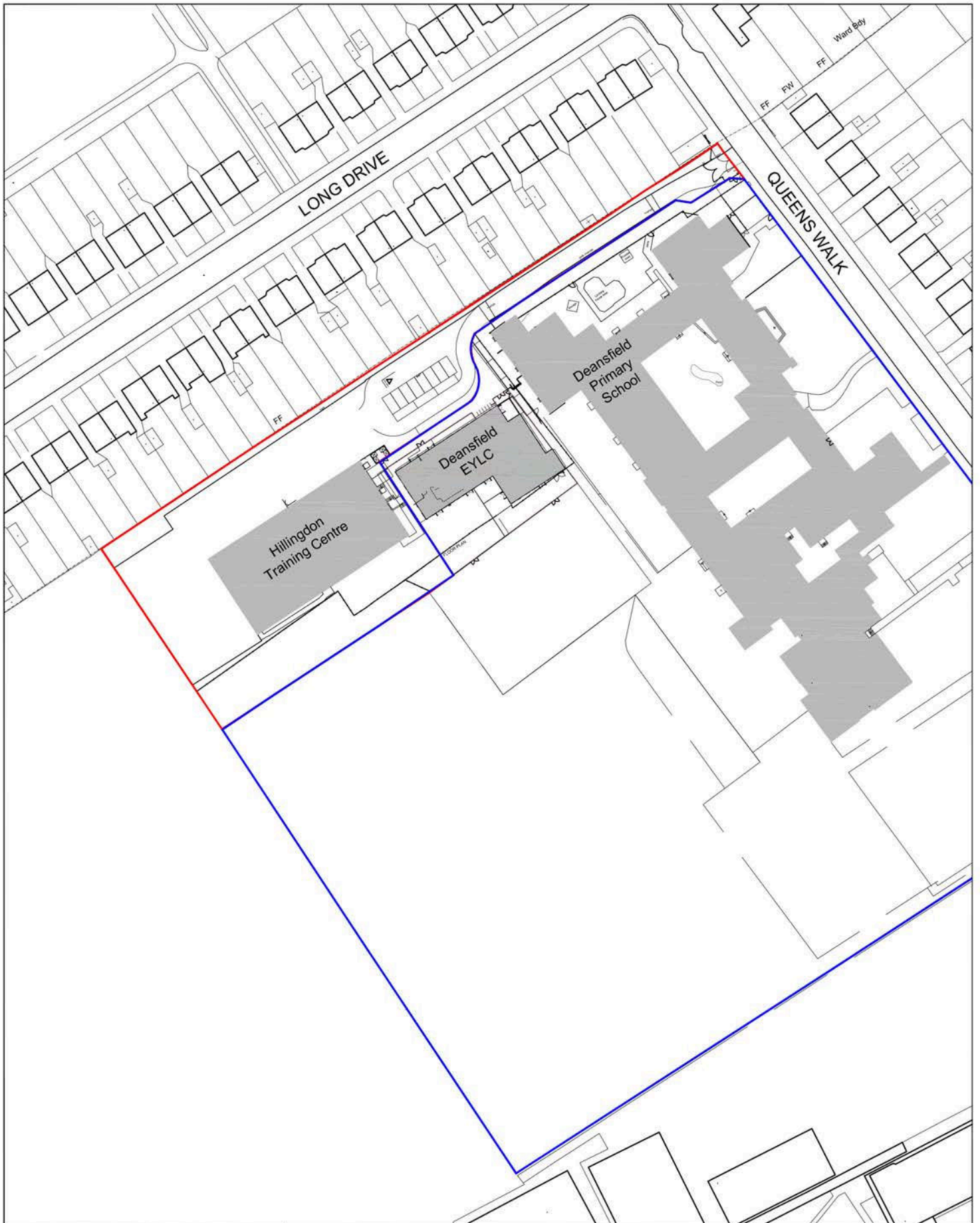
**Address** QUEENS WALK RESOURCE CENTRE QUEENS WALK RUISLIP

**Development:** Refurbishment and re-cladding of existing building including erection of a new entrance lobby and erection of new single storey 400sq.m building to provide an educational and well being facility (Use Class D1).

**LBH Ref Nos:** 12059/APP/2012/2570

**Date Plans Received:** 19/10/2012                      **Date(s) of Amendment(s):**

**Date Application Valid:** 19/10/2012



CORPORATE LANDLORD GROUP  
 4N/11, CIVIC CENTRE, UXBRIDGE, MIDDLESEX, UB8 1UW  
 Tel: 01895 250111  
 Fax: 01895 277224

NOTES: - DO NOT SCALE FROM THIS DRAWING. The Contractor must verify all dimensions at the site before setting out, commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.

A	SITE BOUNDARY AMENDED TO INCLUDE ACCESS ROAD	SA	08-11-12
Rev	Revision notes	Initials	Date



Project  
**QUEENS WALK RESOURCE CENTRE**  
**QUEENS WALK, RUISLIP, HA4 0LR**

Description  
**LOCATION PLAN** Page 316

Scale  
**1:1250 @ A4**

Date  
**24/07/12**

Drawing No.  
**2012/D92/01**

Drawn by  
**SA**

Checked by

Rev.  
**A**

NOTES

The Contractor must verify all dimensions of the site before starting work. Any discrepancies must be reported to the Contractor immediately. The Contractor is responsible for any discrepancies that do not arise from this drawing.

DATE	DESCRIPTION	BY	CHKD
15/08/12	ISSUED FOR TENDERS	SA	SA
15/08/12	REVISED	SA	SA

**HILLINGDON**  
LONDON

COMPOSITE LANDSCAPE GROUP  
4th/11, CIVIC CENTRE, WAREHOSE, WOODSIDE, URB 19W  
TEL: 01895 205 111  
FAX: 01895 277 224

PROJECT	QUEENS WALK RESOURCE & WREN CENTRE
LOCATION	QUEENS WALK, HM4 0LR
SCALE	EXISTING SITE PLAN
DATE	2012/D92/02
BY	SA
CHKD BY	SA
DATE	15/08/12
SCALE	B



NOTES

The Contractor must verify all dimensions at the site before starting work. All dimensions are given in millimetres unless otherwise stated. Any dimensions that do not match the drawings must be referred to the Contractor's site manager for clarification. DO NOT SCALE FROM THIS DRAWING.

NOTE:

Contractor to allow for 3nos rubber speed bumps and new 5nos signs on sign posts. Locations to be agreed. Submit designs for client approval.



Rev	Description	Issue	Date
D	Drawn and Placed in Wren Centre envelope	MM	16-04-13
C	Amendments made to boundary and location of signs	SA	25-01-13
B	Final design and location of signs	SA	25-11-12
A	Location of Electronic Barrier added	SA	18-11-12

**HILLINGDON**  
LONDON

COMPOSITE LANDSCAPE GROUP  
4th/11, QWC CENTRE, WRENWOOD, WOODLESEA, WBS 19W  
TEL: 01952 200 111  
FAX: 01952 277 224

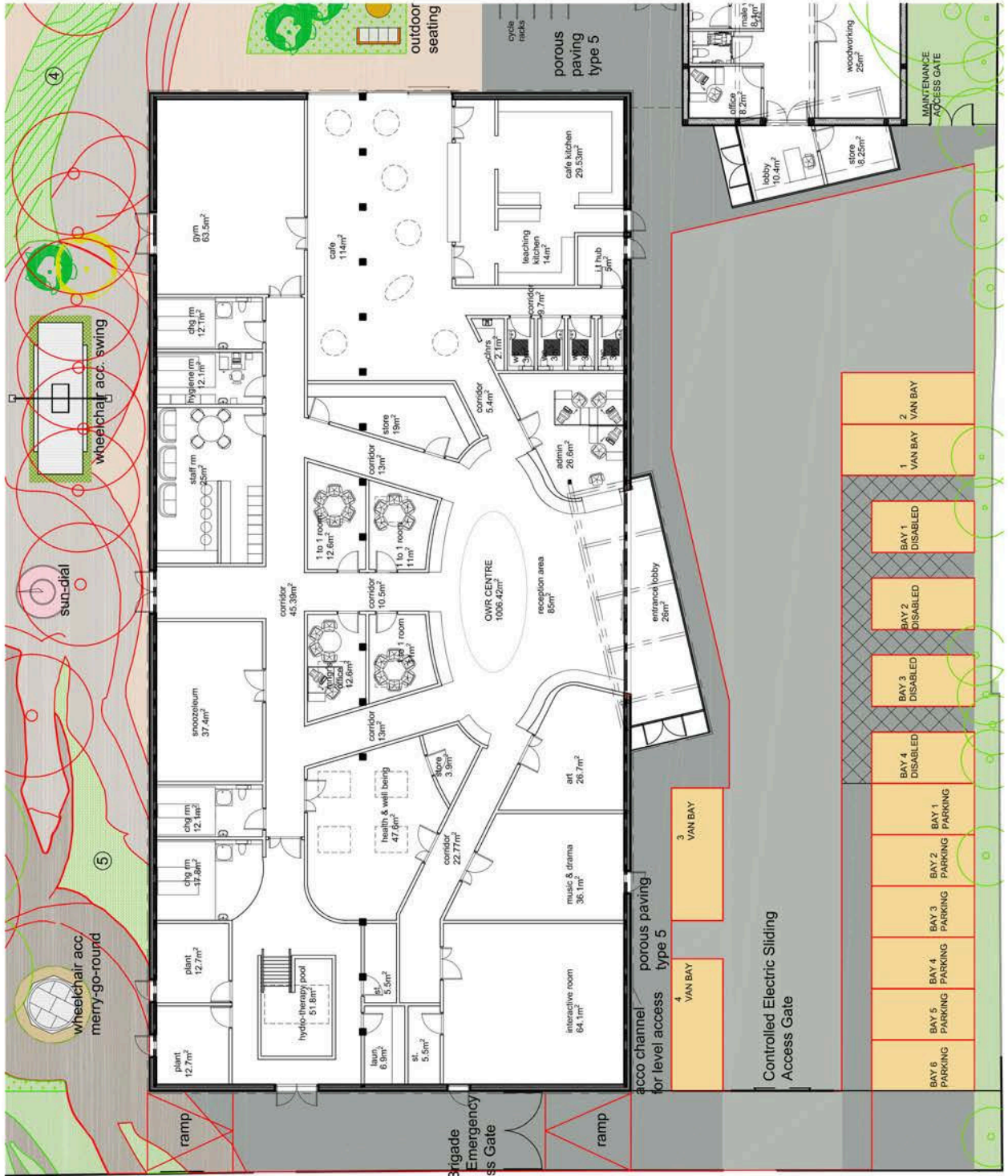
PROJECT		QUEENS WALK RESOURCE AND WREN CENTRE	
CONTRACTOR		QUEENS WALK, HM4 0LR	
PROPOSED SITE PLAN			
DATE	2012/D92/03	SCALE	D
PROJECT NO	17750/A3	CHECKED BY	SA
DATE	2008/12		



NOTES

The Contractor must verify all dimensions at the site before starting work. All dimensions are given in metres unless otherwise stated. Any discrepancy must be reported to the Contractor immediately. The Contractor is responsible for ensuring that all dimensions are correct. DO NOT SCALE FROM THIS DRAWING.

KEY PLAN



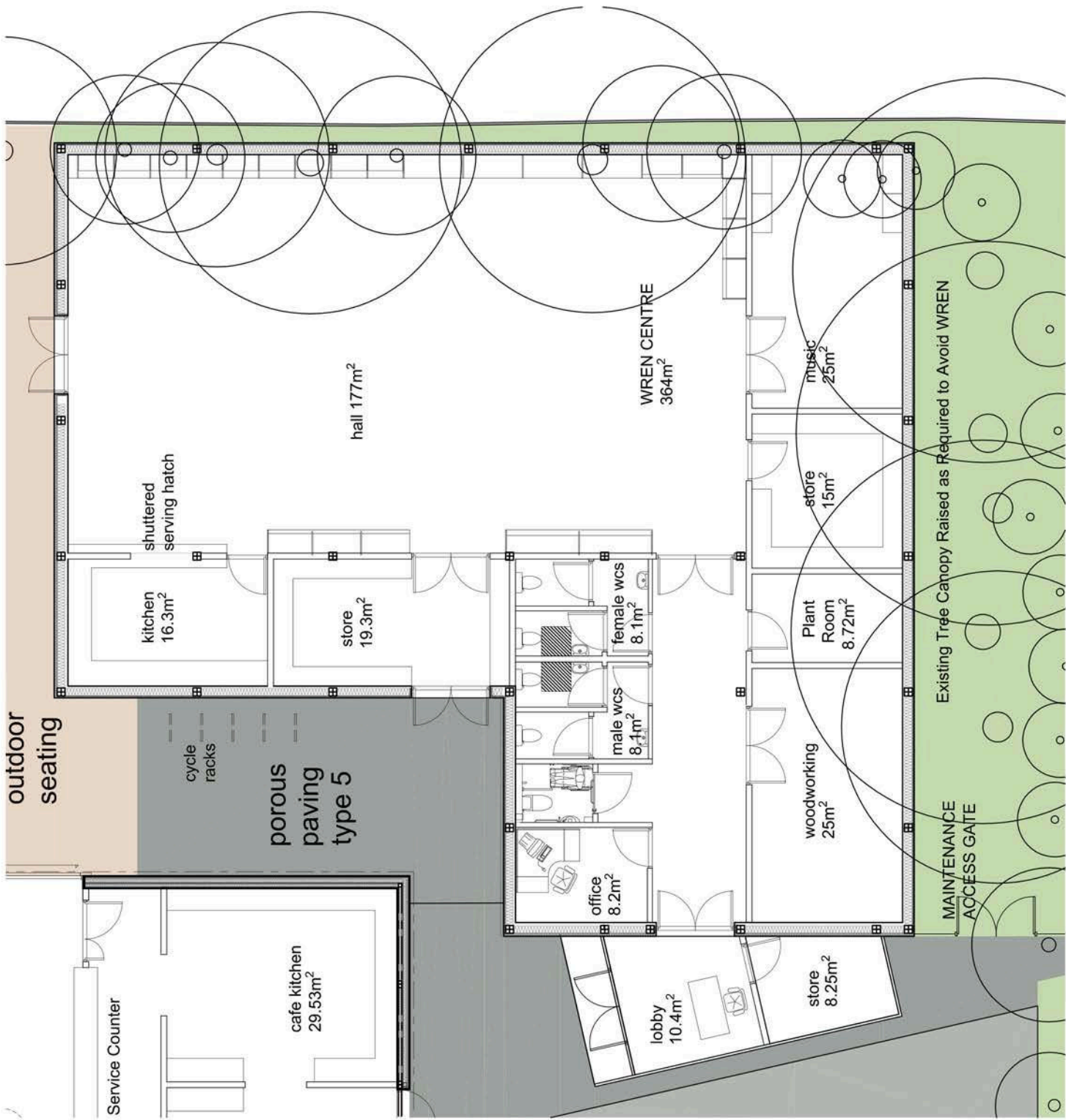
Revision no.	Revision date	Author	Date
A	12/06/13	SA	DB
<p><b>HILLINGDON</b> LONDON</p> <p>CORPORATE LANDSCAPE GROUP 4th/11, OWR CENTRE, WAREHOSE, WOODLEA, URB 198 TEL: 01885 200 111 FAX: 01885 277 224</p>			
<p>PROPOSED GROUND FLOOR PLAN-QWR/C</p>			
<p>PROJEC: QUEENS WALK RESOURCE AND WREN CENTRE QUEENS WALK, RUISLIP, HA 0LR</p>			
Scale	1:200@A3	Drawn by	SA
Checked by	DB	Date	08/08/12
Client	2012/D92/04		
Sheet	A		



NOTES

The Contractor must verify all dimensions at the site before work commences. Any discrepancy must be reported to the Contract Administrator immediately. Any dimensions shown on this drawing are for information only and do not constitute a contract. DO NOT SCALE FROM THIS DRAWING.

KEY PLAN



Rev	Revision notes	Issued	Date
B	Issue room and Plant in Wren Centre highlighted	MM	14-04-13
A	WREN CENTRE (MUSIC ROOM) TO OFFICE TO BIRO	DB	14-04-13
A	Issued for construction of southern boundary fence	SA	14-04-13

**HILLINGDON**  
LONDON

CORPORATE LANDS GROUP  
4th/11, CIVIC CENTRE, WYBOROUGH, WOODLEIGH, URB 11W  
Tel: 01985 200 111  
Fax: 01985 277 224

PROJECT  
QUEENS WALK RESOURCE AND WREN CENTRE  
QUEENS WALK, RUISLIP, HA 0LR

PROPOSED GROUND FLOOR PLAN-WREN

NO	DATE	BY	FOR
1100	@A3	SA	DB
DATE PLOTTED			08/08/12

2012/D92/05

B

**NOTES**

The Contractor must verify all dimensions at the site before starting out. All dimensions are to be taken from the centre of mass of the structure. Any discrepancies must be reported to the Client immediately. The Contractor is responsible for ensuring that the dimensions are correct. DO NOT SCALE FROM THIS DRAWING.



Revision number	Issue	Date

**HILLINGDON**  
LONDON

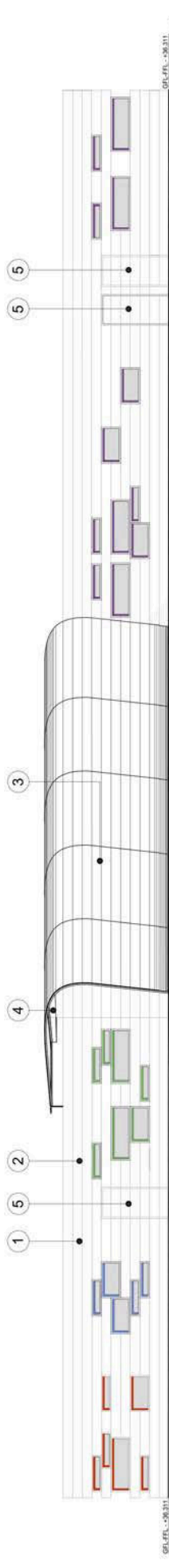
CORPORATE LANDSCAPE GROUP  
4th/11, CIVIC CENTRE, URBROOK, MIDDLESEX, UB8 3YW  
TEL: 01885 200 111  
FAX: 01885 277 224

PROJECT: QUEENS WALK RESOURCE & WREN CENTRE  
QUEENS WALK, RUISLIP, MIDDLESEX, HA4 0LR

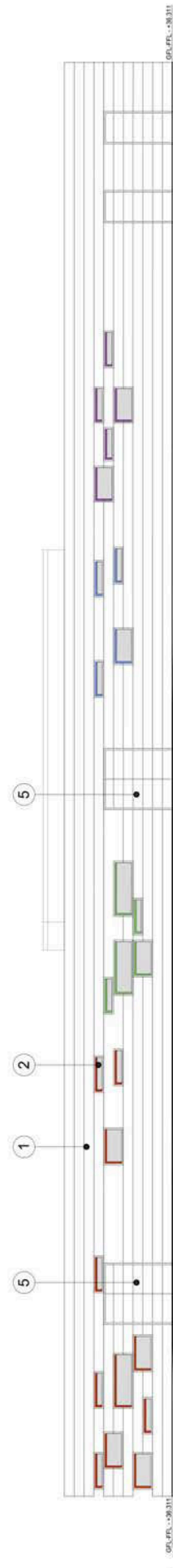
PROPOSED ROOF PLAN

NO	BY	DATE
1-250@A3	SAM	12-10-12
1-250@A3	SA	12-10-12

2012/D92/14



QWRC ELEVATION  
A-FRONT (NORTH WEST)



QWRC ELEVATION C-Rear  
(SOUTH EAST)

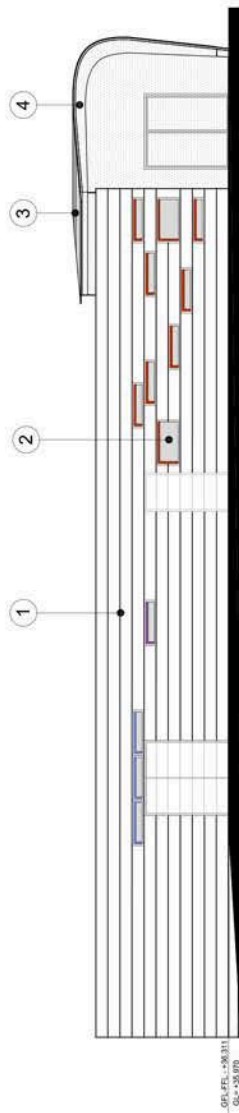
1. Rockpanel Wood Cladding Panels
2. Velfac Composite Aluminium and Timber Windows
3. Translucent Polycarbonate Panels
4. Timber Glulam Beam
5. Velfac 200 Series Glass Doors - Horizontal manifestation as required.

PROJECT		QUEENS WALK RESOURCE & WREN CENTRE QUEENS WALK, RUISLIP, HA4 0LR	
DESCRIPTION		PROPOSED FRONT & REAR ELEVATIONS QUEENS WALK RESOURCE CENTRE	
SCALE	DRAWN BY	CHECKED BY	DATE
1:100@A2	SA		03/10/12
DRAWING NO.	2012/D92/06		REV
			A

Rev	Date	By	Check	Notes
A	1/12			Velfac row 5 added to doors

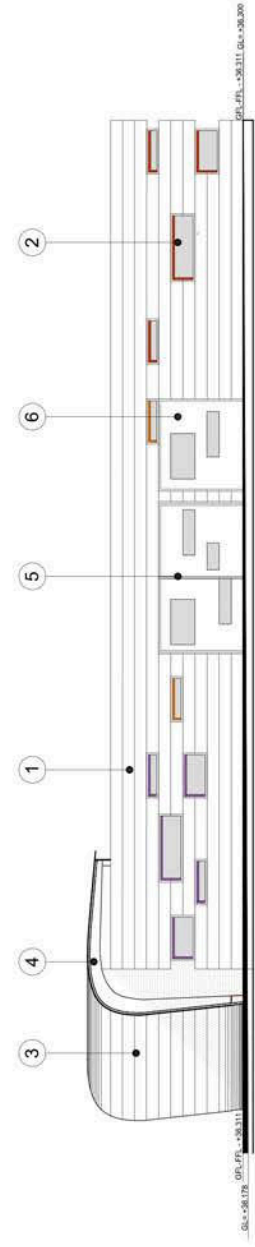
**HILLINGDON**  
LONDON

ASSOCIATE LANDSCAPE GROUP  
48/711, CIVIC CENTRE, HILLINGDON, MIDDLESEX, UB8 3UH  
Tel: 01895 295 111  
Fax: 01895 277 224



QWRC ELEVATION D (LHS)  
From Front) (NORTH EAST)

QWRC ELEV. - 03/10/12  
QWRC - 03/10/12



QWRC ELEVATION B (LHS)  
From Front) (SOUTH WEST)

QWRC ELEV. - 03/10/12  
QWRC - 03/10/12

1. Rockpanel Wood Cladding Panels
2. Velfac Composite Aluminium and Timber Windows
3. Translucent Polycarbonate Panels
4. Timber Glulam Beam
5. Velfac Sliding Doors with Translucent Manifestation
6. Velfac Fixed Glazed Panel with Translucent Manifestation

PROJECT	QUEENS WALK RESOURCE & WREN CENTRE QUEENS WALK, RUISLIP, HA4 0LR		
DESCRIPTION	PROPOSED SIDE ELEVATIONS QUEENS WALK RESOURCE CENTRE		
SCALE	1:100@A2	DRAWN BY	SA
CHECKED BY		DATE	03/10/12
DRAWING NO.	2012/D/92/07		REV
			A

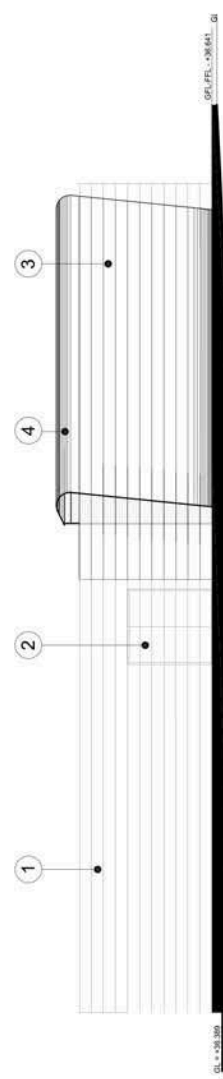
Rev	Date	Installs	Revis	Notes	Date	Installs	Date
A	01/13	-	-	Book West Elevation Velfac fixed glazed panel added (panel)	-	-	-
				Revision notes			

NOTES

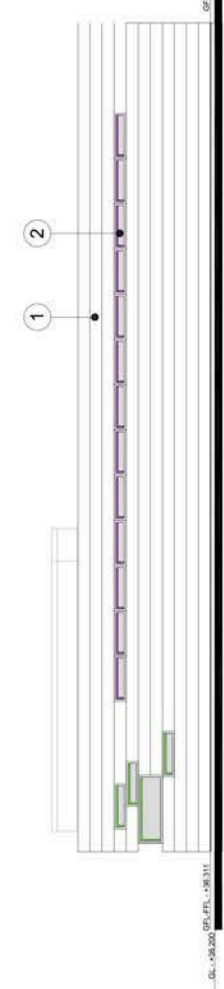
The Contractor must verify all dimensions at the site before setting out.  
 Be prepared to make any necessary adjustments to the drawings to reflect any site conditions.  
 DO NOT SCALE FROM THIS DRAWING

HILLINGDON  
LONDON

ASSOCIATE LANDSCAPE GROUP  
 48/71, CIVIC CENTRE, HILLINGDON, BOLTON, LANCASHIRE, ENGLAND  
 Tel: 01885 295 111  
 Fax: 01885 277 224



WREN SIDE ELEVATION (LHS From Rear) (NORTH EAST)



WREN REAR ELEVATION B (SOUTH WEST)

1. Rockpanel Wood Cladding Panels
2. Velfac Composite Aluminium and Timber Windows
3. Translucent Polycarbonate Panels
4. Timber Glulam Beam
5. 1 hour fire door faced with Rockpanel Wood

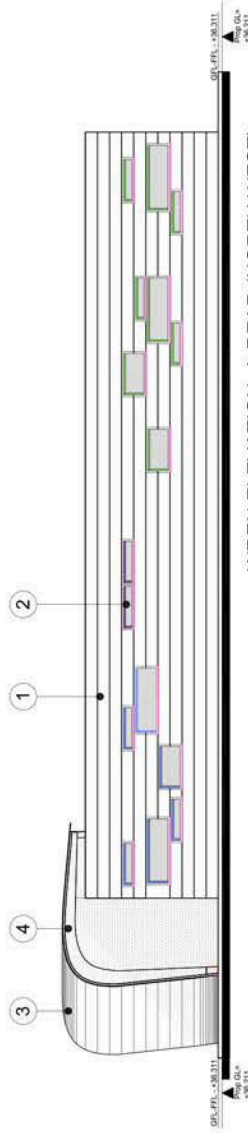
PROJECT		QUEENS WALK RESOURCE & WREN CENTRE	
DESCRIPTION		QUEENS WALK, RUISLIP, HA4 0LR	
DRAWING NO.		2012/D92/08	
SCALE	DRAWN BY	CHECKED BY	DATE
1:100@A2	SA		03/10/12
REVISIONS		REV	
		A	

Rev	Date	By	Check	Notes
A	01/13			point door revised to match plan. The fire door note should be removed as the door is not a fire door (see notes). DO NOT SCALE FROM THIS DRAWING

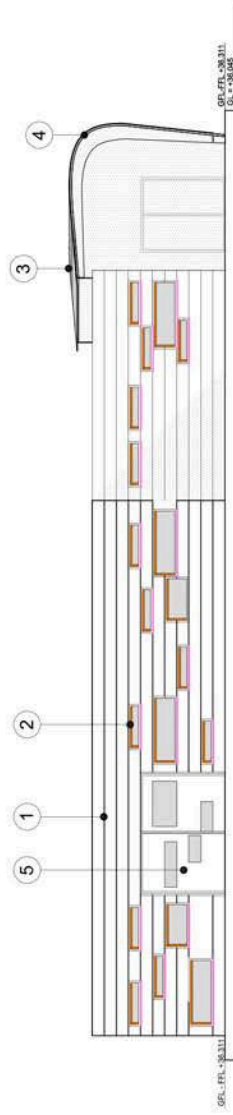
**HILLINGDON**  
LONDON

RESIDENTIAL LANDLORD GROUP  
100, THE CENTRAL BUILDING, HILLINGDON, MIDDLESEX, UB8 3UH  
Tel: 01895 295 111  
Fax: 01895 277 224

WREN ELEVATION A-REAR (NORTH WEST)



WREN SIDE ELEVATION (SOUTH EAST)



1. Rockpanel Wood Cladding Panels
2. Velfac Composite Aluminium and Timber Windows
3. Translucent Polycarbonate Panels
4. Timber Glulam Beam
5. Velfac Sliding Doors with Manifestation

PROJECT		QUEENS WALK RESOURCE & WREN CENTRE	
DESCRIPTION		QUEENS WALK, RUISLIP, HA4 0LR	
DRAWING NO.		2012/D92/09	
SCALE	DRAWN BY	CHECKED BY	DATE
1:100@A2	SA		03/10/12

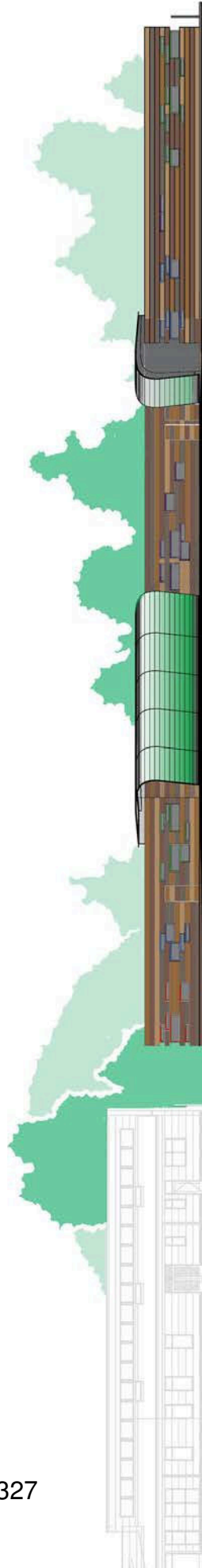
Rev	Revision notes	Installs	Date	Rev	Installs	Date
-		-	-	-	-	-

NOTES

The Contractor must verify all dimensions at the site before setting out. Any discrepancies must be reported to the Client immediately. Any discrepancies must be resolved before construction commences. DO NOT SCALE FROM THIS DRAWING.

HILLINGDON LONDON

ASSOCIATE LANDSCAPE GROUP  
 48/71, CIVIC CENTRE, RUISLIP, MIDDLESEX, UB8 3UF  
 Tel: 01845 295 111  
 Fax: 01845 277 224



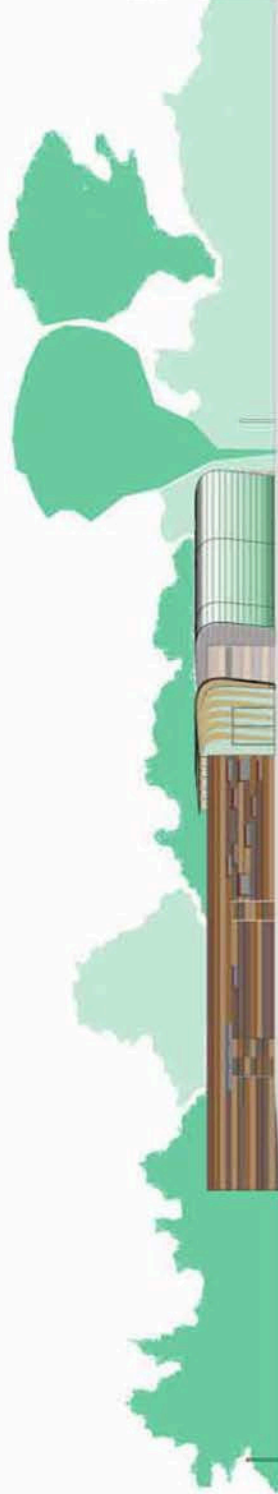
**HILLINGDON**  
LONDON  
CORPORATE LANDLORDS GROUP  
4th/11, Civic Centre, Uxbridge, Middlesex, UB8 3UW  
Tel: 01895 250 111  
Fax: 01895 277 224

**NOTES**  
The Contractor must notify the Designer of any discrepancies or errors in the drawings, or any other matters, as soon as they are identified. Any discrepancies must be reported to the Contract Administrator before proceeding.  
DO NOT SCALE FROM THIS DRAWING

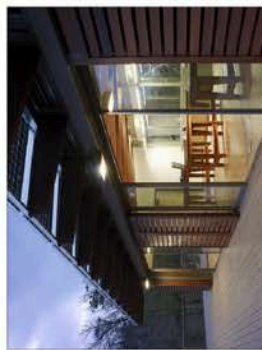
Rev	Revision notes	Initials	Date
-		-	-
-		-	-
-		-	-

<b>PROJECT</b> QUEENS WALK RESOURCE & WREN CENTRE QUEENS WALK, RUISLIP, HA4 0UR		<b>DATE</b> 03/10/12	
<b>DESCRIPTION</b> PROPOSED FRONT CONTEXT ELEVATION QUEENS WALK RESOURCE CENTRE		<b>CHECKED BY</b> SA	<b>REV.</b>
<b>SCALE</b> 1:200@A2	<b>DRAWN BY</b> SA	<b>DRAWING NO.</b> 2012/D92/11	

 <p>                 HILLINGDON LONDON                  CORPORATE SERVICES GROUP                  4th FL, ONE CENTRE, VANELOE, HILLINGDON, MK9 1PR                  Tel: 01895 233 311                  Fax: 01895 237 234             </p>		<p>                 NOTES                  The Contractor shall verify all dimensions at the site before setting out. All dimensions shall be subject to the Contract Administrator before proceeding.                  (DO NOT SCALE FROM THIS DRAWING)             </p>		<p>                 A Additional trees shown                  Revision table                  No.   Description   Date   Made by               </p> <table border="1"> <tr> <td>1</td> <td></td> <td>MM 16/04</td> <td></td> <td></td> </tr> </table>		1		MM 16/04		
1		MM 16/04								
<p>                 PROJECT                  QUEENS WALK RESOURCE &amp; WREN CENTRE                  QUEENS WALK, RUISLIP, HAM IRL             </p>		<p>                 DRAWING NO.                  2012/D92/12             </p>		<p>                 DATE                  02/10/12             </p>						
<p>                 PROPOSED SIDE CONTEXT ELEVATION                  QUEENS WALK RESOURCE CENTRE             </p>		<p>                 SCALE                  1:200 @ A2             </p>		<p>                 DRAWN BY                  SA             </p>						
<p>                 CHECKED BY                  SA             </p>		<p>                 DATE                  02/10/12             </p>		<p>                 NO.                  A             </p>						



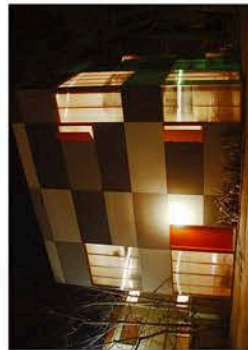




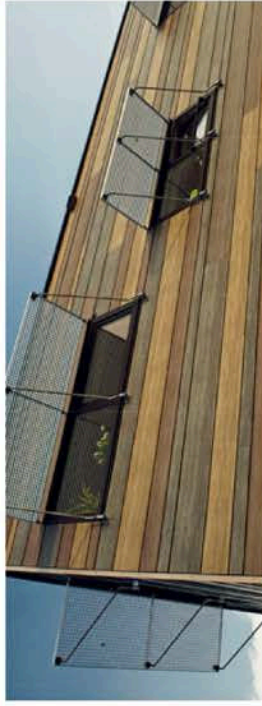
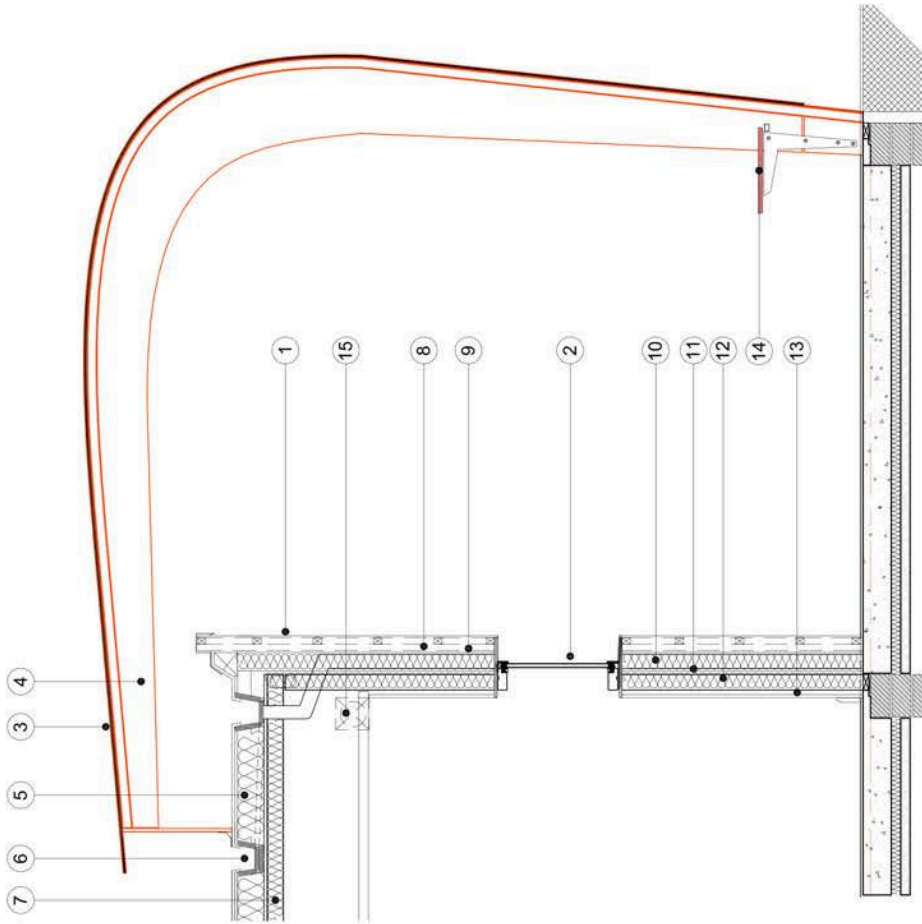
Precedent for use of timber frame with clear polycarbonate panels



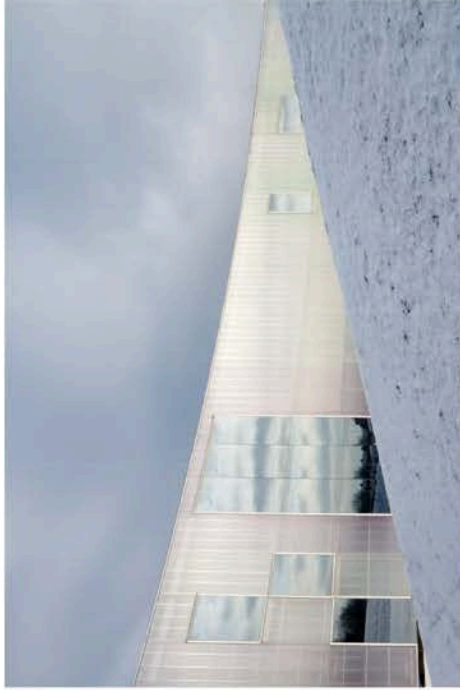
Precedent for use of timber cladding with clear polycarbonate wall panels



Precedent for polycarbonate panels back-lit at night



Precedent for use of Rockpanel Wood Cladding - Dutch School by Sebastien Robben



Precedent for use of polycarbonate cladding panels - Laban Centre by Herzog de Meuron

NOTES

The Contractor must verify all dimensions at the site before setting out. For reference to the drawings, any dimensions are also to be verified on site. Any discrepancies must be reported to the Client immediately and resolved before proceeding.

DO NOT SCALE FROM THIS DRAWING

Rev	Revised notes	Installs	Date	Rev	Date	Installs	Date
A	Sheet scales and revised. Note 14 added.	cb	jun 13	-	-	-	-

1. Rockpanel Wood Cladding Panels
2. Velfac Composite Aluminium and Timber Windows - u-value of 1.2W/m<sup>2</sup> K at centre of pane
3. Translucent Polycarbonate Panels
4. Timber Glulam Beam
5. New roof Insulation - Celotex EL3000-140mm
6. New insulated gutter
7. New ceiling insulation between roof beams - Celotex EL3000 - 50mm
8. Ventilated cavity behind Rockpanel rainscreen cladding panels

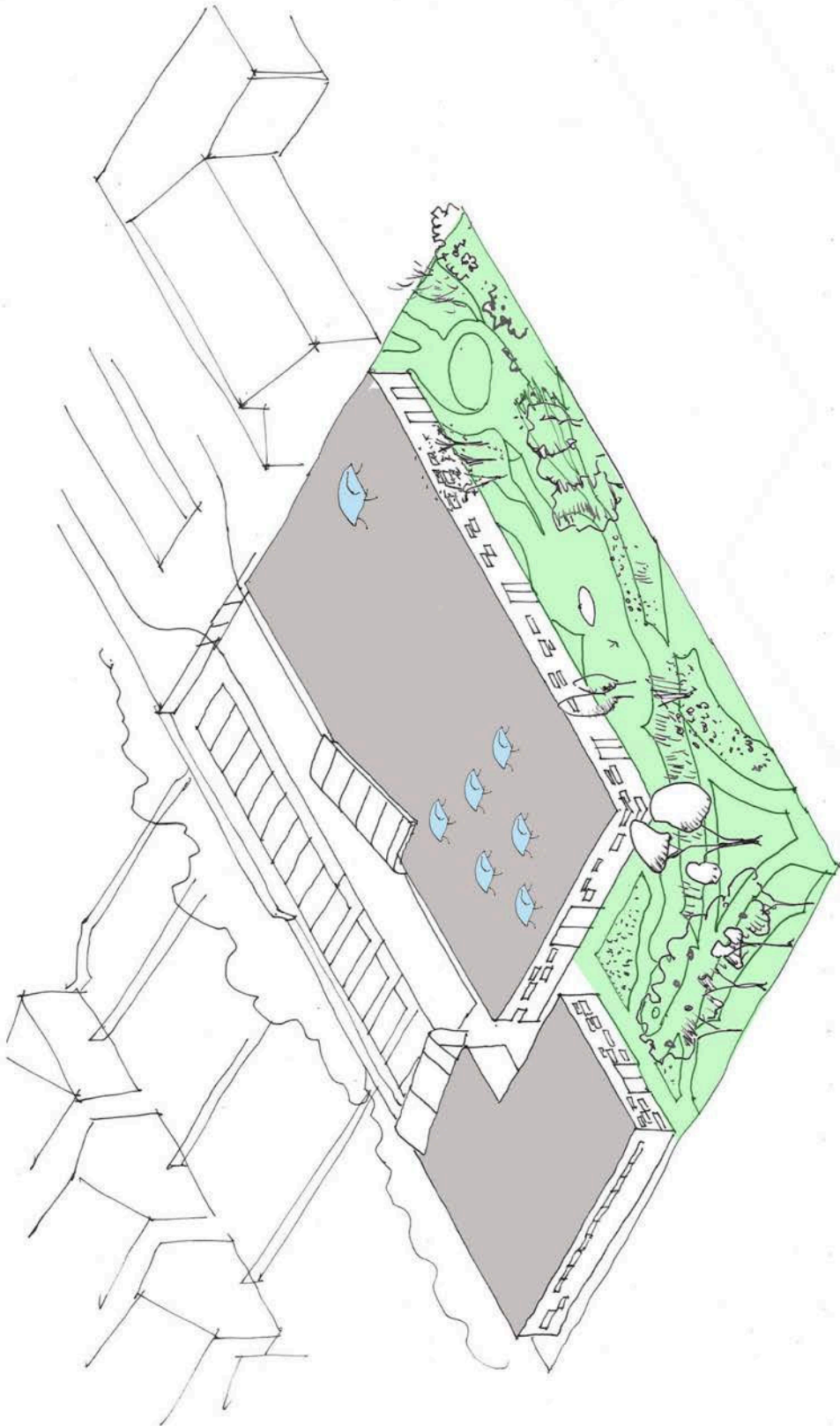
9. Breather Membrane
10. New wall insulation- Celotex FR4000-100mm
11. 18mm WBP Ply
12. New wall insulation-Celotex FR4000 -85mm hat framing
13. 15mm high impact Gyproc Wall board on
14. In built oak bench (continuous) with LED lights to canopy concealed in bench.
15. Motorized blinds and housing concealed in ceiling. (to Int Active Rm, Music & Drama, Art, Snoozeaum, Admin & Wren Office). Floor to ceiling in height.

PROJECT	QUEENS WALK RESOURCE AND WREN CENTRE QUEENS WALK, RUISLIP HA4 0LR
DESCRIPTION	PROPOSED SECTION AND MATERIALS
SCALE	1:20 @ A2
DRAWN BY	SA
CHECKED BY	SA
DATE	03/10/12
REV	A

**HILLINGDON**  
LONDON

CONSULTANT LANDSCAPE GROUP  
ARCHITECTS, INTERIORS, URBAN DESIGN

48/71, CIVIC CENTRE, WATFORD, HERTS, UK  
Tel: 01895 295 111  
Fax: 01895 277 224



PROJECT		QUEENS WALK RESOURCE & WREN CENTRE	
DESCRIPTION		QUEENS WALK RESOURCE CENTRE	
SCALE	DRAWN BY	CHECKED BY	DATE
NTS@A2	SA		03/10/12
DRAWING NO.			REV
			2012/D92/18

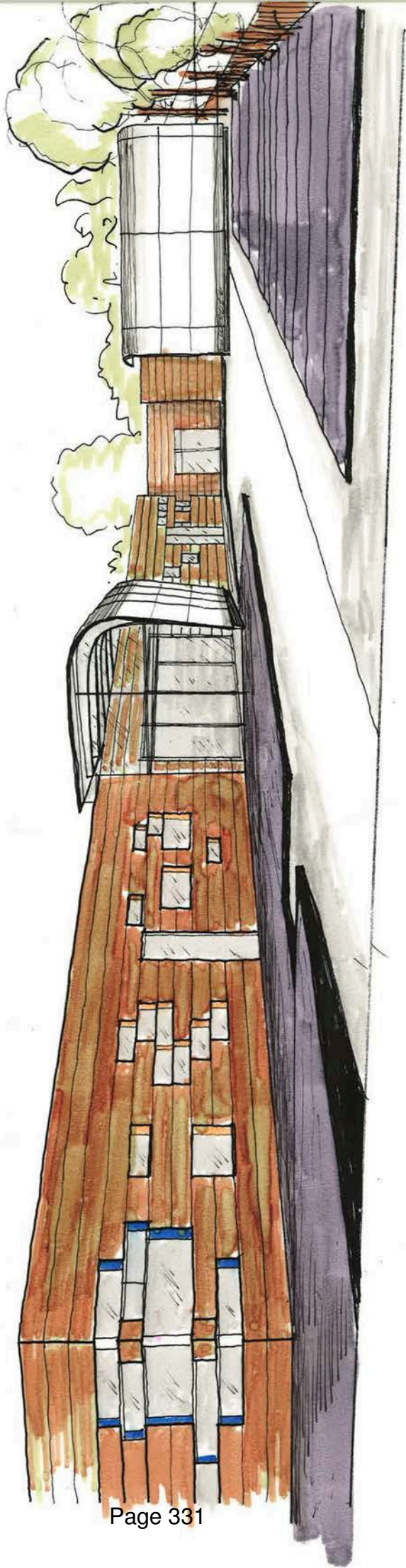
NOTES					
<p>The Contractor must notify all associates of the below activities, all commencing work, or making any shop drawings. Any discrepancies must be reported to the Contract Administrator before proceeding.</p> <p>DO NOT SCALE FROM THIS DRAWING</p>					
Rev	Revised notes	Initials	Date	Rev	Date
-		-	-	-	-
	Revision notes	Initials	Date		

**HILLINGDON**  
LONDON

CORPORATE LANDS&ORIG GROUP

4N/11, CIVIC CENTRE, UXBIDGE, MIDDLESEX, UB8 3JW

Tel: 01895 235 111  
Fax: 01895 277 224



NOTES

The Contractor shall be responsible for the accuracy of the drawings and shall be responsible for any discrepancies between the drawings and the site conditions. Any discrepancies must be reported to the Contract Administrator before proceeding.  
DO NOT SCALE FROM THIS DRAWING

Rev	Revision notes	Initials	Date	Rev	Revision notes	Initials	Date

PROJECT: QUEENS WALK RESOURCE & WREN CENTRE QUEENS WALK, RUISLIP, HA4 0UR		DATE: 03/10/12
DESCRIPTION: PERSPECTIVE QUEENS WALK RESOURCE CENTRE		CHECKED BY: 
SCALE: NTS@A2	DRAWN BY: SA	DATE: 03/10/12
DRAWING NO: 2012/D92/19		REV: 



**HILLINGDON**  
LONDON  
CORPORATE LANDLORDS GROUP  
4th/11, CIVIC CENTRE, UPPERSOPE, WINDLESEX, UB8 3JW  
Tel: 01895 250 111  
Fax: 01895 277 224

**NOTES**  
 The Contractor must verify all dimensions at the site before starting work. Any minor variations to the dimensions shown on this drawing must be reported to the Client immediately. Any major variations must be reported to the Client immediately and approved in writing.  
 DO NOT SCALE FROM THIS DRAWING

**LEGEND - EXTERNAL FINISHES**

- porous paving type 1 - "Congrave" or equal approved colour fbc
  - porous paving type 2 - "Core grave" or equal approved - colour fbc - horse 1
  - porous paving type 3 - "Congrave" or equal approved - colour fbc - horse 2
  - porous paving type 4 - "Congrave" or equal approved - colour fbc
  - porous paving type 5 - "Congrave" or equal approved - colour fbc - walking zone paving
  - Tarmac: Dry porous asphalt system with Masterfint - Colour fbc - Road surface
  - Tarmac: Dry porous asphalt system with Masterfint - Colour fbc - Parking bays surface
  - Grates
  - Existing Trees
  - Removed Trees
  - New Semi-Mature Trees
  - New Beech or Chitalpa Hedge with Fruit Trees Interspersed
  - New Ornamental Trees
- Planting bed reference, refer to landscape planting schedule

Item	Revision codes	Issue	Date
D	Store room and Plant in Wren Centre swapped	MM	16-04-13
C	Trees to be removed added to the drawing	SA	26-11-12
B	Trees to be removed added to the drawing	SA	26-11-12
A	Location of Electronic Barrier added	SA	19-11-12

**HILLINGDON**  
 LONDON

CORPORATE LANDSCAPE GROUP  
 THE GARDENS, 200 111  
 QUEEN'S WALK, WOODLEA, LBS 11W  
 TEL: 01895 200 111  
 FAX: 01895 277 224

PROPOSED LANDSCAPE PLAN

QUEEN'S WALK RESOURCE AND WREN CENTRE  
 QUEEN'S WALK, HA4 0LR

DATE: 2012/09/13

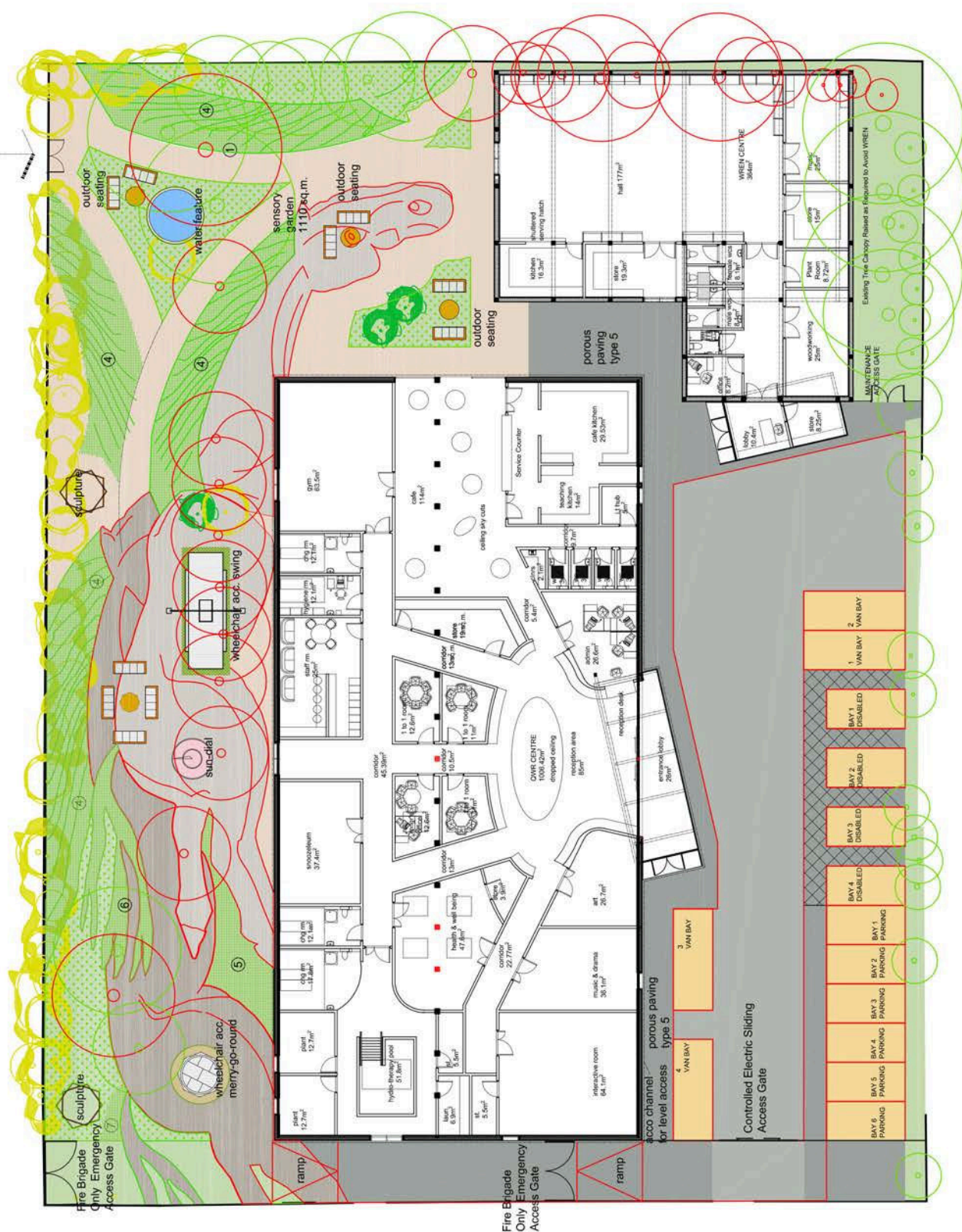
BY: SA

CHECKED BY: SA

DATE: 2008/12

APP: D

**Emergency Pedestrian Access Only**



NOTES  
 The Contractor must verify all dimensions at the site before starting work.  
 All proposed work is to be carried out in accordance with the relevant British Standards and any other applicable regulations.  
 DO NOT SCALE FROM THIS DRAWING.

**LEGEND - EXTERNAL FINISHES**

- porous paving type 1 - "Crepepaper" or equal approved colour fbc
- porous paving type 2 - "Cone paper" or equal approved colour fbc
- porous paving type 3 - "Crepepaper" or equal approved colour fbc
- porous paving type 4 - "Crepepaper" or equal approved colour fbc
- porous paving type 5 - "Crepepaper" or equal approved colour fbc
- Tarmac Dry porous asphalt system with Mastertite - Colour fbc - Road surfacing
- Tarmac Dry porous asphalt system with Mastertite - Colour fbc - Parking bays surface

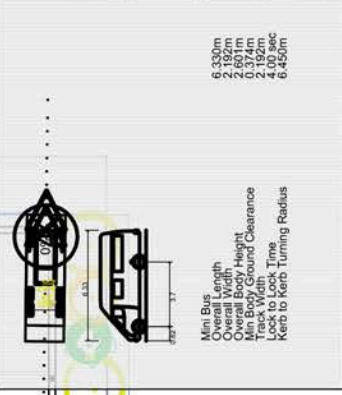
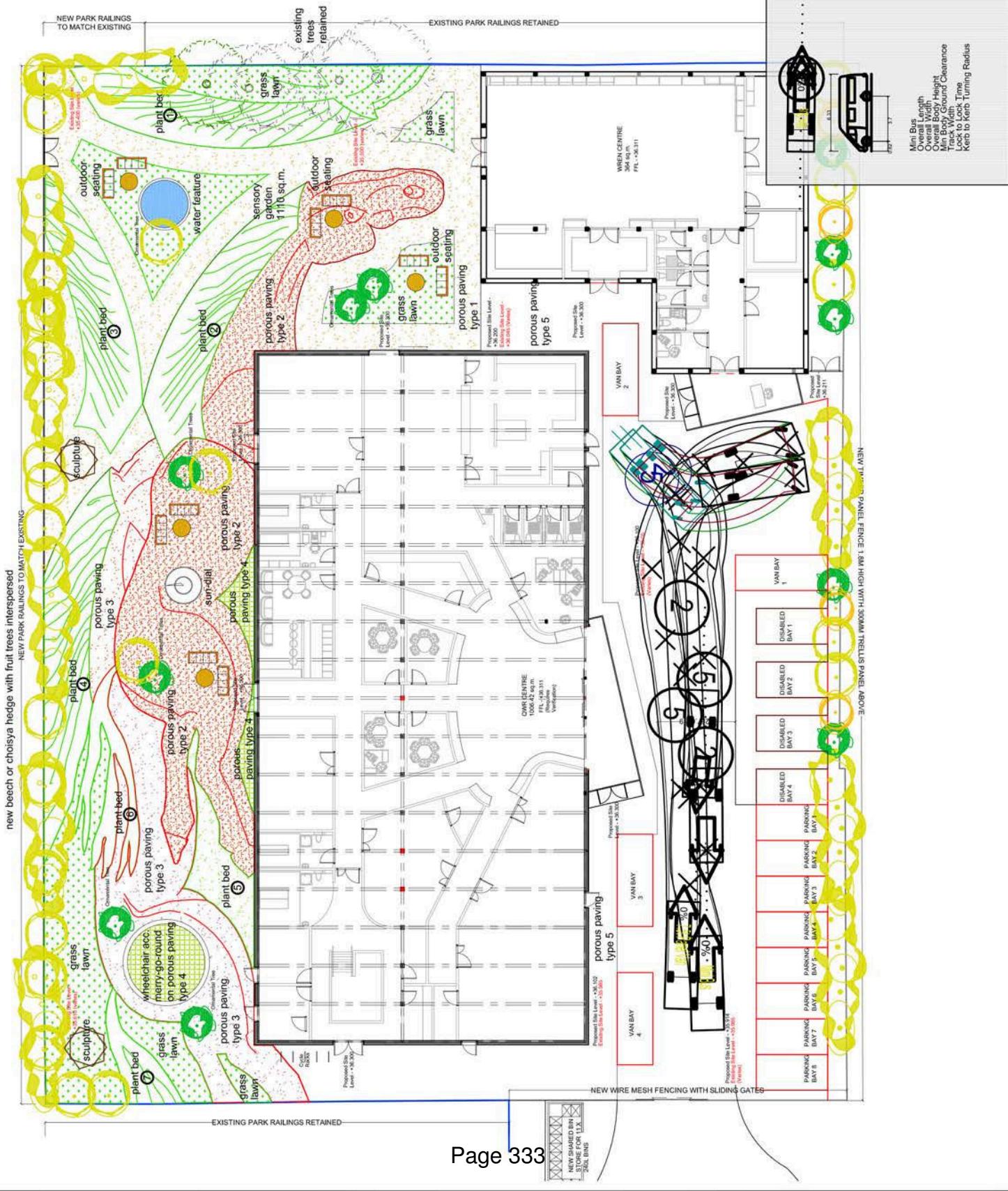
**HILLINGDON**  
 LONDON  
 CORPORATE LANDSCAPING GROUP  
 4th/11, DVC CENTRE, URBROOK, MIDDLESEX, UB8 3YW  
 TEL: 01895 200 111  
 FAX: 01895 277 224

PROJEC: QUEENS WALK RESOURCE & WREN CENTRE  
 QUEENS WALK, RUISLIP, HA0 4LR

CONTRACT NO: VEHICLE TRACKING DIAGRAM-MINIBUS  
 DRAWN BY: SA  
 CHECKED BY: DB  
 DATE: 27/09/12

SCALE: 1:250 @ A3

PROJECT NO: 2012/D92/21



NOTES  
 The Contractor must verify all dimensions at the site before starting work.  
 All dimensions are given in millimetres unless otherwise stated.  
 All dimensions are given in millimetres unless otherwise stated.  
 DO NOT SCALE FROM THIS DRAWING

**LEGEND - EXTERNAL FINISHES**

- porous paving type 1 - "Coregravel" or equal approved colour bc.
- porous paving type 2 - "Core gravel" or equal approved colour bc - horse 1
- porous paving type 3 - "Coregravel" or equal approved colour bc - horse 2
- porous paving type 4 - "Coregravel" or equal approved colour bc
- porous paving type 5 - "Coregravel" or equal approved colour bc - walking zone paving
- Tarmac Dry porous asphalt system with stabiliser - Colour bc - Road surface
- Tarmac Dry porous asphalt - Colour bc - Parking bays surface
- Grass
- Existing Trees
- Removed Trees
- New Semi-Mature Trees
- New Bleed or Chozoya Hedge with Fruit Trees interspersed.
- New Ornamental Trees
- Planting level reference, refer to landscape planting schedule

**HILLINGDON**  
 LONDON

CORPORATE LANDSCAPE GROUP  
 4th/11, ONE CENTRE, WAREHOSE, WOODLEIGH, URB 19W  
 TEL: 01895 200 111  
 FAX: 01895 277 224

PROJECT  
**QUEENS WALK RESOURCE & WREN CENTRE**  
 QUEENS WALK, RUISLIP, HA0 4LR

DATE  
 27/09/12

SCALE  
 1:250 @ A3

PROJECT NO.  
 2012/D92/21



Min Bus  
 Overall Length 6.330m  
 Overall Width 2.192m  
 Min Wheelbase 2.741m  
 Min Body Ground Clearance 0.374m  
 Track Width 2.192m  
 Min Wheel Track 1.875m  
 Kerb to Kerb Turning Radius 6.450m

**NOTES**  
 The Contractor must verify all dimensions at the site before starting work.  
 All dimensions are to the face of the work unless otherwise stated.  
 All dimensions are to be confirmed by the Contractor before starting work.  
 DO NOT SCALE FROM THIS DRAWING.

**LEGEND - EXTERNAL FINISHES**

- porous paving type 1 - "Crepepaper" or equal approved colour fbc
- porous paving type 2 - "Cone paper" or equal approved - colour fbc
- porous paving type 3 - "Crepepaper" or equal approved - colour fbc
- porous paving type 4 - "Crepepaper" or equal approved - colour fbc
- porous paving type 5 - "Crepepaper" or equal approved - colour fbc
- Tarmac Dry porous asphalt system with Mastertect - Colour fbc - Road surfacing
- Tarmac Dry porous asphalt system with Mastertect - Colour fbc - Parking bays surface

Rev	Revision notes	SA	Date
A	New parking spaces adjacent to van power van vehicle	SA	22/10/12

**HILLINGDON**  
 LONDON

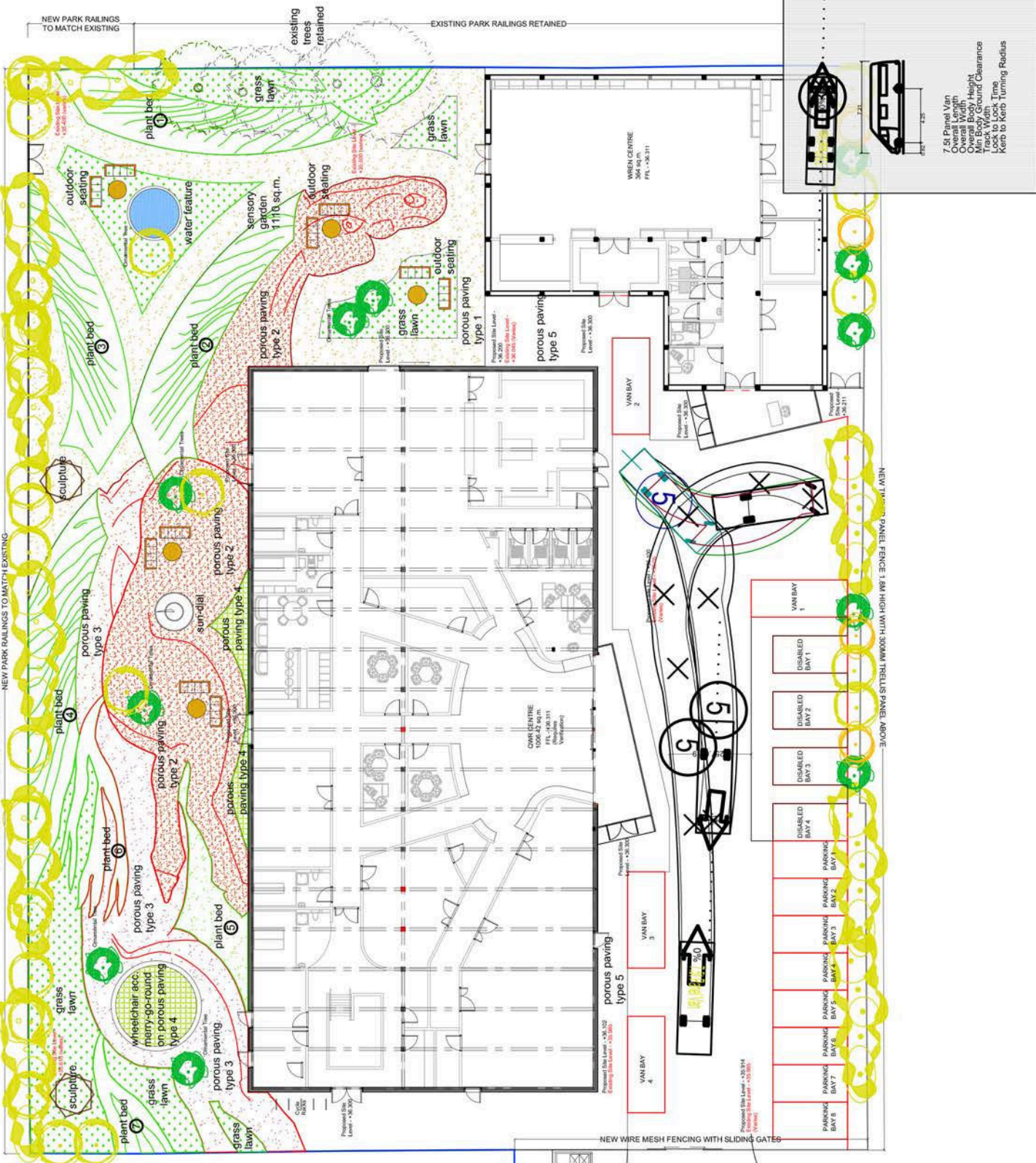
CORPORATE LANDSCAPE GROUP  
 4th/11, DVC CENTRE, WAREHOUSES, MIDDLESEX, UB8 3PW  
 TEL: 01895 200 111  
 FAX: 01895 277 224

PROJECT: QUEENS WALK RESOURCE & WREN CENTRE  
 QUEENS WALK, RUISLIP, HA0 4LR

VEHICLE TRACKING DIAGRAM - PANEL VAN

DATE: 27/09/12  
 DRAWN BY: SA  
 CHECKED BY: DB

2012/D92/20



7.21m Overall Length  
 2.43m Overall Width  
 0.316m Min. Body Ground Clearance  
 1.865m Track Width  
 1.865m Kerb to Kerb Turning Radius  
 7.400m

**NOTES**  
 The Contractor must verify all dimensions at the site before starting work.  
 All dimensions are to the face of the work unless otherwise stated.  
 All dimensions are to the centre of the work unless otherwise stated.  
 All dimensions are to the face of the work unless otherwise stated.  
 DO NOT SCALE FROM THIS DRAWING

**LEGEND - EXTERNAL FINISHES**

- porous paving type 1 - Conglomerate or equal approved colour tbc.
  - porous paving type 2 - 'Core grave' or equal approved - colour tbc - horse 1
  - porous paving type 3 - approved - colour tbc - horse 2
  - porous paving type 4 - 'Core grave' or equal approved - colour tbc
  - porous paving type 5 - 'Core grave' or equal approved - colour tbc - walking zone paving
  - Tarmac Dry porous asphalt system with Masterfint - Colour tbc - Road surface
  - Tarmac Dry porous asphalt system with Masterfint - Colour tbc - Parking bays surface
  - Grass
  - Existing Trees
  - Removed Trees
  - New Semi-Mature Trees
  - New Beech or Chionya Hedge with Fruit Trees Interspersed.
  - New Ornamental Trees
- Planting bid reference, refer to landscape planting schedule

**HILLINGDON**  
 LONDON

CORPORATE LANDSCAPE GROUP  
 4th/11, ONE CENTRE, WAREHOUSES, WOODSIDE, LBS 19W  
 TEL: 01885 200 111  
 FAX: 01885 277 224

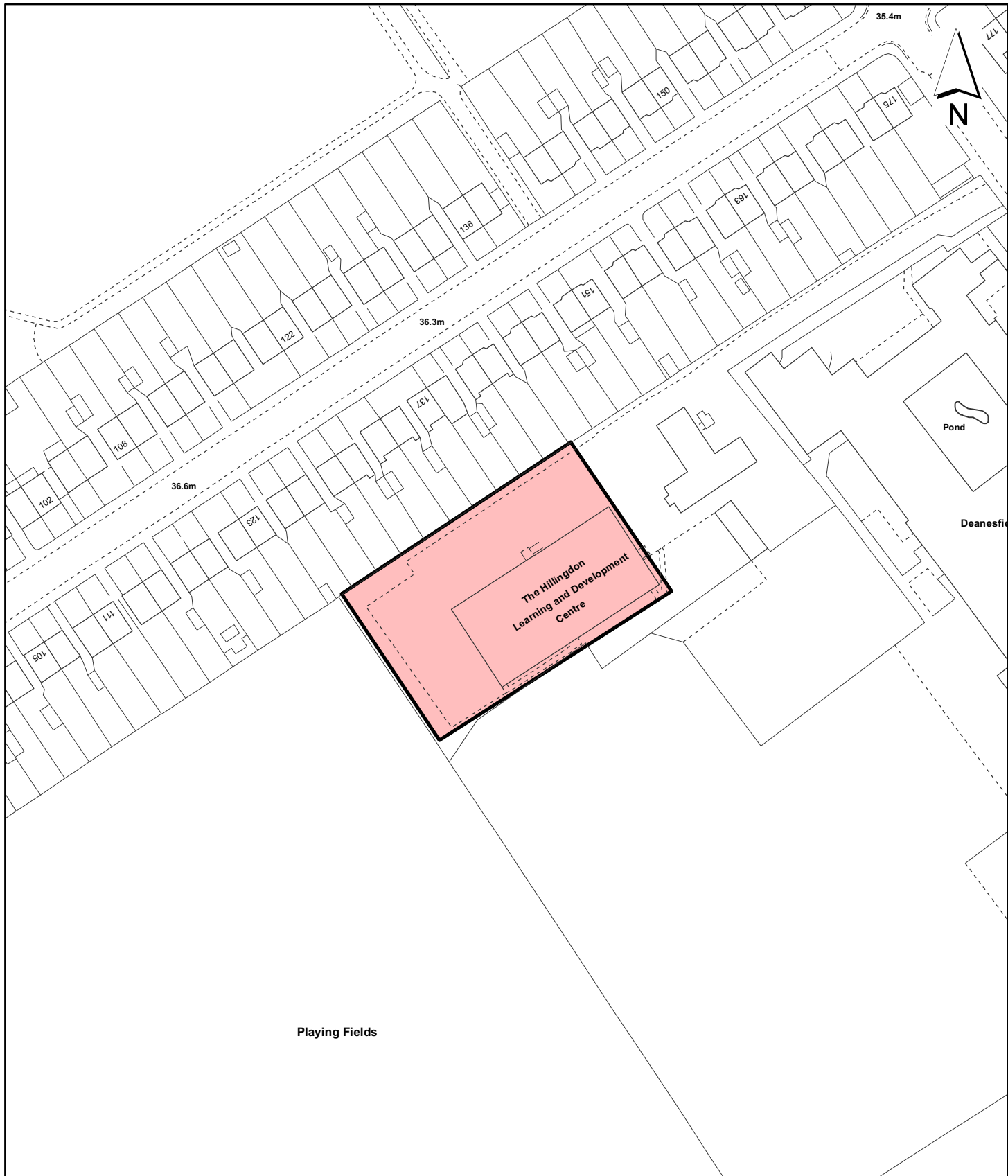
PROJECT: QUEENS WALK RESOURCE & WREN CENTRE  
 QUEENS WALK, RUISLIP, HA0 4LR



DATE: 27/09/12

2012/D92/20







<p><b>Notes</b></p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2013 Ordnance Survey 100019283</p>	<p>Site Address</p> <p><b>Queens Walk Resource Centre</b>  <b>Queens Walk</b>  <b>Ruislip</b></p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>Residents Services</b></p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW          Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p><b>12059/APP/2012/2570</b></p>	<p>Scale</p> <p><b>1:1,250</b></p>	
	<p>Planning Committee</p> <p><b>Major Applications</b></p>	<p>Date</p> <p><b>May 2013</b></p>	

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## HILLINGDON LONDON

**Meeting: Major Applications Committee**

**Date: 13 June 2013**

**Time: 6.00pm**

**Place: Committee Room 5, Civic Centre Uxbridge**

### ADDENDUM SHEET

<b>Item: 6</b>	<b>Page: 1</b>	<b>Location: Stockley Park Golf Course, Stockley Road, West Drayton</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>
Delete condition 9.		No material is proposed to be imported.

<b>Item: 7</b>	<b>Page: 19</b>	<b>Location: 8-12 Lees Parade, Uxbridge Road, Hayes</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>
An additional letter of objection has been received, raising issues of parking and loss of privacy.		Overlooking issues have been carefully considered in the report.
Amend recommendation 2, D by inserting the words 'or such other date as agreed by the Head of Planning Sport and Green Spaces' between the words '2013,' and 'delegated'		For clarity
Amend condition 5 as follows:  2(b) by inserting the number 'for 17 bicycles' after the word storage.  2(d) by deleting reference to electric vehicle charging points and inserting the words for 21 cars and a Car Parking Allocation and Management Plan for the entire site, which shall clearly identify and delineate parking spaces which are allocated and dedicated for the non-residential and residential components of the development. Each unit designed for wheelchair users shall be allocated at least 1 car parking space.'		For clarity
Delete condition 18		To remove duplication.

Add the following informative: You are advised that in discharging condition 8, the Council will expect measures to include those necessary to ensure security and safety of the area between the gate and footway.	For clarity
Add the following informative: 'You are advised that in discharging condition 4, the Council will expect details to include rendering or cladding of the second floor. Cedar cladding should be avoided. The top floor should be finished in a light colour. The proposed high level screens on the terraces and balustrades should be light weight in appearance, ideally, glass rather than timber. Details of the roof top pergola will be needed. The canopy over the ground floor street entrance/s should be a glazed canopy.'	For clarity

<b>Item: 8</b>	<b>Page: 47</b>	<b>Location:</b>	<b>Land at 37-45 Ducks Hill Road, Northwood</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>	
An objection from a neighbouring property on Mallard Way has been received, raising the following concerns:-		Point (i) regarding plot size has been dealt with in the officer's report. Point (ii) regarding no requirement for additional dining space is noted but this is not a material; reason to refuse planning permission. In terms of point (ii), the concern is speculative and noted but all proposals have to be considered on their individual merits if and when submitted.	
<ul style="list-style-type: none"> <li>(i) Plot 6 immediately borders my small 2 bedroom house in Mallard Way and the proposal to enlarge the ground floor are disproportionate to the size of the plot,</li> <li>(ii) Original plans included a dining space so no requirement for this new floor space,</li> <li>(iii) First and second floors above the extended ground floor could be extended at a future date, making my property even more overlooked, dark and claustrophobic.</li> <li>(iv)</li> </ul>			
Amend section 3.2 of the report by replacing the words 'on Plots 4 and 5' with on 'Plots 6 and 7'		For clarity	

<b>Item: 9</b>	<b>Page: 69</b>	<b>Location:</b>	<b>Land at 37-45 Ducks Hill Road, Northwood</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>	
The body of condition 11 is reprinted below:		For clarity	
Notwithstanding the approved plans, side screens glazed with permanently obscured glass shall be provided to the rear balconies on Plots 2, 3, 11, 12, 13 and 14 for so long as the development remains in existence.			

<b>Item: 10</b>	<b>Page: 91</b>	<b>Location:</b>	<b>Land at 37-45 Ducks Hill Road, Northwood</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>	
<p>Add the following condition:</p> <p>The habitable room above the garages (shown on Plan 1834/PL302), hereby permitted shall not be used at any time other than for purposes of a storage/study/games room, ancillary to the main dwelling house, on Plot 8. The room shall not be used for purposes such as a living room, bedroom, kitchen, or as a separate unit of accommodation. This restriction preventing the room from being used as habitable accommodation shall apply for so long as the out building is in existence.</p> <p>Reason: To avoid the creation of a separate residential use, so as to protect the amenity of neighbouring residential properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).</p>		<p>To avoid the creation of a separate residential use.</p>	

<b>Item: 12</b>	<b>Page: 135</b>	<b>Location:</b>	<b>Former Reindeer Public House, Maxwell Road, Northwood</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>	
<p>Supersede the following plans:</p> <p>1586 PC 300 B 1586 PC 303 A</p> <p>Insert the following plans 1586 PC 300 C 1586 PC 303 B</p>		<p>Revised elevations which address the Urban Design and Conservation Officer's comments relating to the bays on the street frontage.</p>	
<p>Urban Design and Conservation Officer comments.</p>		<p>The revised street elevations are greatly improved. No objections.</p>	
<p>Amend RECOMMENDATION 3.</p> <p>Delete: 23/06/13 Add: 11/7/13</p>		<p>To correct the 13 week determination deadline date.</p>	

<b>Item: 13</b>	<b>Page: 167</b>	<b>Location:</b>	<b>Hermitage School Nursery &amp; Lancaster Centre Site, Lancaster Road, Uxbridge</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>	
<p>Replace heading of condition 13 with the words: 'Soils'.</p>		<p>For clarity.</p>	
<p>Add standard condition RES13 (obscure glazing), referring to the new dormer windows.</p>		<p>To ensure the new windows are obscure glazed.</p>	

<b>Item: 14</b>	<b>Page: 185</b>	<b>Location: Former RAF Uxbridge, Hillingdon Road, Uxbridge</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>
Withdrawn from Agenda		

<b>Item: 15</b>	<b>Page: 199</b>	<b>Location: Queens Walk Resource Centre, Queens Walk, Ruislip</b>
<b>Amendments/Additional information:</b>		<b>Officer Comments:</b>
Withdrawn from Agenda		